CITY OF HAM LAKE



15544 Central Avenue NE Ham Lake, Minnesota 55304 (763) 434-9555 Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, SEPTEMBER 25, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: August 28, 2023

PUBLIC HEARINGS:

6:01 p.m. Tom Elwell requesting rezoning of 4611 139th Lane NE from R-A (Rural

Single Family Residential) to R-1 (Single Family Residential)

NEW BUSINESS:

1. Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 outlots) in sections 24 and 25.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, AUGUST 28, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, August 28, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT:

Commissioners Brian Pogalz, Kyle Lejonvarn, Jeff

Entsminger, Jonathan Fisher and Erin Dixson

MEMBERS ABSENT:

Commissioner Dave Ringler

OTHERS PRESENT:

City Engineer Dave Krugler and Building and Zoning Clerk

Jennifer Bohr

CALL TO ORDER:

Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixson, seconded by Lejonvarn, to approve the minutes of the August 14, 2023 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:

Consideration of amendments to Article 9 of the Ham Lake City Code

Chair Pogalz read the proposed amendments to Article 9 from the public hearing notice. The commissioners briefly discussed existing R-AH, Affordable Housing Districts, in the City. Chair Pogalz summarized the changes related to raising of pigeons. Chair Pogalz stated the City recently revised the chicken ordinance; it was determined the pigeon ordinance also needed revising. Chair Pogalz stated the proposed modifications to the pigeon ordinance seem to be in line with the chicken ordinance. Commissioner Lejonvarn asked if requirements for raising pigeons were within the chicken ordinance. Commissioner Dixson asked if the pigeon ordinance contained the same regulations as the chicken ordinance. Chair Pogalz stated the new pigeon ordinance addresses loft construction standards, population limits, noise, sanitation, confinement and screening.

Chair Pogalz opened the public hearing at 6:10 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:11 p.m.

Motion by Pogalz, seconded by Fisher, to recommend approval of the amendments to Article 9 as presented. All present in favor, motion carried. This application will be placed on the City Council's Tuesday, September 5, 2023 agenda.

Commissioner Entsminger removed himself from the table due to being the applicant for the next two agenda items and his ownership interest in the developments of Entsminger Farms and Coon Creek Commercial Park.

PUBLIC HEARING:

Jeff Entsminger requesting rezoning of portions of land of Entsminger Farms from R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) and a portion of land of the Coon Creek Commercial Park from CD-2 (Commercial Development II) to R-A (Rural Single Family Residential) in Section 29

Mr. Entsminger stated he would like to change the zoning assigned to Lot 1, Block 1 of Entsminger Farms, the lot north of Coon Creek Ditch #59, to CD-2. Mr. Entsminger stated NACS is interested in purchasing Lot 4, Block 1 of Coon Creek Commercial Park plus the eastern portion of Lot 1, Block 1 of Entsminger Farms so a lot line adjustment of the western property line of Lot 4, Block 1, Coon Creek Commercial Park is also being requested. Mr. Entsminger stated he would like to move the lot line to the west to the point of where the roadway easement begins. Mr. Entsminger stated he is requesting a second lot line adjustment to move the lot lines around a small portion of Lot 4, Block 1 of Coon Creek Commercial Park, that lies south of Coon Creek Ditch #59, to the north so that portion of land will become part of Lot 2, Block 1, Entsminger Farms (1163 143rd Avenue NE). Commissioner Fisher asked Mr. Entsminger if the drainage and utilities easements being requested are acceptable to him. Mr. Entsminger stated they are. Engineer Krugler stated a revised survey document was provided today, August 28, 2023, by Mr. Entsminger's contract surveyors that provided an updated description of the drainage and utility easements adjacent to the future roadway and showed the portion of the driveway for the 1163 143rd Avenue NE parcel, that had been in the eastern drainage and utility easement, had been moved to the west. Engineer Krugler stated since the western lot line of Lot 4, Block 1, of Coon Creek Commercial Park will be moving to the west to the point of the easement for the future roadway, dedicating drainage and utility easements around the perimeter of the proposed smaller lot to the west and the proposed larger lot to the east of the future roadway easement were in order. Engineer Krugler stated the septic area for Lot 1, Block 1, Entsminger Farms was on the eastern side of the parcel. Engineer Krugler stated soil borings were done for the remnant of Lot 1, Block 1, Entsminger Farms, proposed Parcel A, to determine buildability of the lot; it has been determined a Type III septic system can be designed for the area shown on the survey. Engineer Krugler stated a Type III system requires compliance with Article 11-450.5.E of the City Code upon installation, including a Management Plan and surety. Engineer Krugler stated Building Official Jones approves of a Type III system for proposed Parcel A. Chair Pogalz stated a memo from Building Official Jones is in the packet: Building Official Jones recommends approval of Mr. Entsminger's request for rezoning and the lot line adjustments subject to meeting the requirements of the City Engineer. Commissioner Fisher completed the inspection; a copy which is on file. Commissioner Fisher stated he inspected the site, which is currently undeveloped land, and stated he hoped it could be put to good use.

Chair Pogalz opened the public hearing at 6:18 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:19 p.m.

Motion by Fisher, seconded by Lejonvarn, to recommend approval of Jeff Entsminger's request to rezone portions of land of Entsminger Farms from R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) and a portion of land of the Coon Creek Commercial Park from CD-2 (Commercial Development II) to R-A (Rural Single Family Residential) in Section 29 subject to meeting the conditions of the City Engineer and meeting all City, County and State requirements. Commissioners Pogalz, Lejonvarn, Fisher and Dixson voted yes, Commissioner Entsminger abstained. Motion carried. This application will be placed on the City Council's Tuesday, September 5, 2023 agenda.

NEW BUSINESS:

Jeff Entsminger requesting Lot Line Adjustments/Courtesy Combinations in Section 29 Chair Pogalz asked if this request is to move the lot lines of the small portion of Lot 4. Block 1 of Coon Creek Commercial Park, that lies south of Coon Creek Ditch #59, identified on the plan. Building and Zoning Clerk Bohr stated it is but the request also includes moving the western lot line of Lot 4, Block 1, of Coon Creek Commercial Park to the west. Building and Zoning Clerk Bohr stated comments have been made about splitting the lots but no new lots are being created, the request is only for the movement of some lot lines. Motion by Fisher, seconded by Dixson, to recommend approval of Jeff Entsminger's request for a lot line adjustment of the western property line of Lot 4, Block 1, Coon Creek Commercial Park, north of Coon Creek Ditch #59, west to the future roadway easement dedicated on Lot 1, Block 1, Entsminger Farms, so to combine the property lying there within, and the lot line adjustment of a portion of Lot 4, Block 1, Coon Creek Commercial Park, south of Coon Creek Ditch #59, to the north so to combine that land with Lot 2, Block 1, of Entsminger Farms in Section 29 subject to the meeting the septic requirements for proposed Parcel A, dedicating drainage and utility easements as required by the City Engineer, meeting all requirements of the City Engineer and Building Official and meeting all City, County and State requirements. Commissioners Pogalz, Lejonvarn, Fisher and Dixson voted ves, Commissioner Entsminger abstained. Motion carried. This application will be placed on the City Council's Tuesday, September 5, 2023 agenda.

COMMISSION BUSINESS:

City Council Update

Chair Pogalz stated the City Council concurred with the Planning Commission's conditions and recommendation to approve Touchdown Tile's commercial building plans at the August 21, 2023 City Council meeting. A Planning Commissioner will not be present at the September 5, 2023 City Council meeting.

ADJOURNMENT:

Motion by Fisher, seconded by Dixson, to adjourn the Planning Commission meeting at 6:23 p.m. All present in favor, motion carried.

CITY OF HAM LAKE PLANNING COMMISSION REQUEST APPLICATION INSPECTION REPORT

MTG DATE: September 25, 2023

NSPECTION ISSUED TO: <u>Jeff Entsminger</u>				
APPLICANT/CONTACT: <u>Tom Elwell</u>				
TELEPHONE NUMBER: 612-363-7279				
BUSINESS/PLAT NAME: <u>N/A</u>				
ADDRESS/LOCATION OF INSPECTION: 4611 139th Lane NE				
APPLICATION FOR: Rezoning				
RECOMMENDATION:				
DATE:				
PLANNING COMMISSIONER SIGNATURE:				



PLANNING REQUEST

CITY OF HAM LAKE

15544 Central Avenue NE Ham Lake, MN 55304

Phone (763)) 434-9555 Fax (763) 235-1697
Date of Application $8/30/23$	Date of Receipt 8-30-33 Receipt # 91240
Meeting Appearance Dates: Planning Commission 9-25-23	
Sketch Plan Preliminary Plat Approval* Final Plat Approval Rezoning*	Commercial Building Permit Certificate of Occupancy Home Occupation Permit Conditional Use Permit (New)* Conditional Use Permit (Renewal) Other
*NOTE: Advisory Signage is required for land use alte application also requires a Public Hearing. S	rations and future road connections. This cuch fees shall be deducted from deposit.
Development/Business Name: Lot //ne Address/Location of property: 46/1 /39 ft.	Adj-Krzoning
Legal Description of property:	·
Legal Description of property: PIN # 31-32-33-21-0002 Current Z Notes: 40/1/39th Ln NE be coming Applicant's Name: Tom Elwell	oning K-A Proposed Zoning R-1 Bynaller parcel HFE Plat to North is 2 oned k
Business Name:	
Address 4629 137th Lane 10 W	
City Han Larke	State Mu Zip Code SS304
Phone Cell Phone 6/2. Email address/A	363 7279 Fax
You are advised that the 60-day review period require not begin to run until <u>all</u> of the required items have be	d by Minnesota Statutes Chapter 15.99 does
SIGNATURE To Strutt	DATE 8/30/23
- FOR STAFF USA	***************

City Council _____

CITY OF HAM LAKE



15544 Central Avenue NE Ham Lake, Minnesota 55304 (763) 434-9555 Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

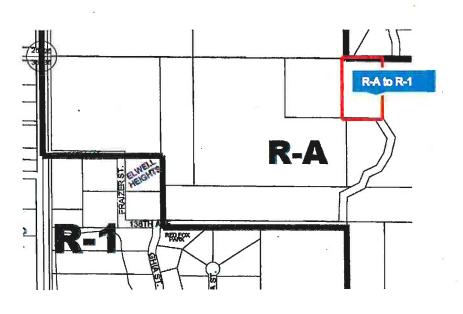
TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, September 25, 2023 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Tom Elwell requesting to rezone certain parcels of land (4611 139th Lane NE) from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) such land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

The North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.

At such hearing both written and oral comments will be heard.

DATED: September 15, 2023

Jennifer Bohr Building and Zoning Clerk City of Ham Lake





Office (763) 862-8000 Fax (763) 862-8042

Memorandum

Date:

September 12, 2023

To:

Mayor and Councilmembers

From:

Tom Collins, City Engineer

Subject:

Proposed lot line adjustment – 4611 139th Lane and 36-32-23-21-0004

Introduction:

A lot line adjustment is proposed between the 10.00-acre 4611 139th Lane (36-32-23-21-0002) parcel and the 27.33-acre 36-32-23-21-0004 parcel . The proposed lot line adjustment will increase the 36-32-23-21-0004 parcel by 6.18 acres to 33.51 acres and decrease the 4611 139th Lane parcel to 3.82 acres. A 400-scale aerial photo is attached.

Discussion:

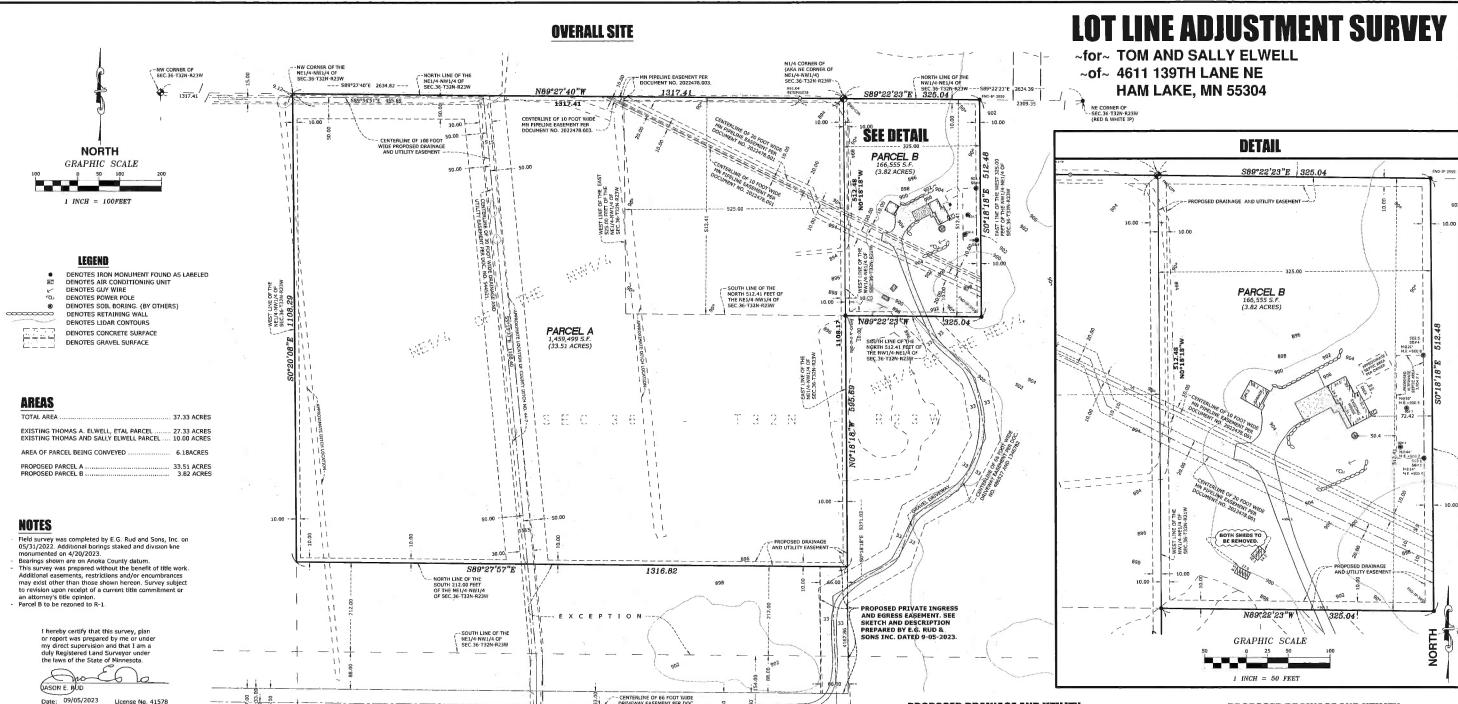
Both parcels are currently zoned Rural Single Family Residential (R-A) per the attached 600-scale zoning map. The resulting 4611 139th Lane parcel will be rezoned to Single Family Residential (R-1). The zoning for the expanded 36-32-23-21-0004 parcel will remain R-A.

Access to the 4611 139th Lane parcel is thru a 66-foot wide ingress/egress driveway easement that is an extension of 138th Avenue east of Ghia Street. A 400-scale half-section is attached that shows the ingress/egress easement. An ingress/egress driveway easement is being dedicated over the east 66-feet of the 4653 138th Avenue parcel to the south, for access to the expanded 36-32-23-21-0004 parcel.

Soil borings #3 and #4 confirm that there is adequate area for a secondary septic system on the resulting 4611 139th Lane parcel. The required 10-foot drainage and utility easements are shown around the perimeter of the revised lot lines. County Ditch 44-7 traverses thru 36-32-23-21-0004. Proposed drainage easements are shown for the standard 100-foot County Ditch easement.

Recommendation:

It is recommended that the lot line adjustment be approved, subject to dedicating a 10-foot wide drainage and utility easement on both sides of the revised property lines, dedicating the 100-foot drainage easement over County Ditch 44-7, removal of the two 4611 139th Lane accessory buildings and recording of the ingress/egress easement over the 66-feet of the 4653 138th Avenue parcel.



EXISTING PROPERTY DESCRIPTION OF THE THOMAS A. ELWELL, ETAL PARCEL

[FOR PIN NO. 36-32-23-21-0004 PER ANOKA COUNTY QUIT CLAIM DEED DOCUMENT NO. 1198047.]

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212 feet thereof; Also Except the North 512.41 feet of the East 525.00 feet thereof.

PROPOSED DESCRIPTION OF PARCEL A

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212.00 feet thereof.

PROPOSED DESCRIPTION **OF PARCEL BEING CONVEYED**

The North 512.41 feet of the East 525.00 feet of the Northeast Quarte

EXISTING PROPERTY DESCRIPTION OF THOMAS A AND SALLY A ELWELL PARCEL

[FOR PIN NO. 36-32-23-21-0002 PER ANOKA COUNTY QUIT CLAIM DEED DOCUMENT NO. 1346782.]

The North 512.41 feet of the East 525.00 feet of the Northeast Quarter of the Northwest Quarter and the North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.

Together with a 66.00 foot easement for ingress and egress, the centerline of which is described as

Commencing at the Northwest corner of the Northwest Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota; thence on an assumed bearing of South 0 degrees 05 minutes 35 seconds East along the West line of sald Northwest Quarter, a distance of 847.50 feet to its intersection with the South line of the North 847.50 feet of sald Northwest Quarter and the actual point of beginning of the centerline to be hereinafter described; thence South 89 degrees 08 minutes 42 seconds East, along sald South line of the North 847.38 feet, a distance of 693.92 feet; thence South 0 degrees 05 minutes 35 seconds East, parallel with the West line of sald Northwest Quarter a distance of 593.68 feet to the South line of the North 121.00 feet, of the South salf of sald Northwest Quarter; thence South 89 degrees 10 minutes 13 seconds East, along sald South line of the North 121.00 feet, a distance of 1911.51 feet; thence North 1 degree 44 minutes 05 seconds West a distance of 263.69 feet; thence North 60 degrees 16 minutes 02 seconds East a distance of 184.42 feet; thence North 19 degrees 05 minutes 39 seconds East a distance of 105.45 feet; thence North 61 degrees 54 minutes 60 seconds East a distance of 126.62 feet; thence North 9 degrees 31 minutes 50 seconds West a distance of 140.92 feet; thence North 43 degrees 48 minutes 50 seconds West a distance of 140.34 feet; thence North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South line of the North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South line of the North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South line of the North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South line of the North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South line of the North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South line of the North 43 degrees 48 minutes 50 seconds West a distance of 163.77 feet to the South lin degrees 48 minutes 58 seconds West a distance of 233.72 feet to the South line of the North 43 degrees 48 minutes 58 seconds West a distance of 233.72 feet to the South line of the North 512.41 feet of the Northwest Quarter of the Northeast Quarter of said Section 36 and there erminating. Said strip for land to extend by its full width from the East right-of-way line of County State Ald Highway Number 17 to the South line of the North 512.41 feet of the Northwest Quarter of said Section 36.

PROPOSED DESCRIPTION OF PARCEL B

The North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Angka County, Minnesota

Together with a 66.00 foot easement for ingress and egress, the centerline of which is described as follows:

Commencing at the Northwest corner of the Northwest Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota; thence on an assumed bearing of South 0 degrees 05 minutes 35 seconds East along the West line of said Northwest Quarter, a distance of 847.50 feet to its intersection with the South line of the North 847.50 feet of said Northwest Quarter and the actual point of beginning of the centerline to be hereinafter described; thence South 89 degrees 08 minutes 42 seconds East, along said South line of the North 847.38 feet, a distance of 693.92 feet; thence South 0 degrees 05 minutes 35 seconds East, aprallel with the West line of said Northwest Quarter; and distance of 593.68 feet to the South line of the North 121.00 feet of the South half of said Northwest Quarter; thence South 80 degrees 10 minutes 13 seconds East, along and Northwest Quarter; thence South 80 degrees 10 minutes 13 seconds East, along said Northwest Quarter; thence South 89 degrees 10 minutes 13 seconds East, along said South line of the North 121,00 feet, a distance of 1911.51 feet; thence North 1 degree 44 minutes 05 seconds West a distance of 263.69 feet; thence North 60 degrees 16 minutes 02 seconds East a distance of 184.42 feet; thence North 19 degrees 05 minutes 39 seconds East a distance of 105.45 feet; thence North 61 degrees 54 minutes minutes 39 seconds East a distance of 105.45 feet; thence North 61 degrees 54 minutes 06 seconds East a distance of 121.62 feet; thence North 28 degrees 14 minutes 47 seconds East a distance of 140.92 feet; thence North 9 degrees 37 minutes 50 seconds West a distance of 143.84 feet; thence North 43 degrees 48 minutes 58 seconds West a distance of 203.72 feet to the South line of the North 21.24 i feet of the Northwest Quarter of the Northwest Quarter of the Northwest Warter of the Northwest Warter of Said Section 36 and there terminating. Said strip of land to extend by its full width from the East right-of-way line of County State Aid Highway Number 17 to the South line of the North 512.41 feet of the Northwest Quarter of the Northeast Quarter of said Section 36.

PROPOSED DRAINAGE AND UTILITY **EASEMENT DESCRIPTION FOR PARCEL A**

A perpetual easement for public drainage and utility purposes over, under and across the North 10.00 feet; the South 10.00 feet; the West 10.00 feet; and the East 10.00 feet of the following

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212 feet thereof.

A 100 foot wide perpetual easement for public drainage and utility purposes over, under and across the following described property:

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212.00 feet thereof.

The centerline of said easement is described as follows:

Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence on an assumed bearing of North 89 degrees 27 minutes 40 seconds West, along the north line of said Northeast Quarter of the Northwest Quarter, a distance of 1317.41 feet to the northwest corner of said Northeast Quarter of the Northwest Quarter; thence South 02 the northwest corner of said Northeast Quarter of the Northwest Quarter; thence South Q.d degrees 20 minutes 08 seconds East, along the west line of said Northeast Quarter of the Northwest Quarter, a distance of 9.12 feet to the point of beginning of the centerline to be described; thence South 89 degrees 54 minutes 51 seconds East a distance of 55.59 feet thence South 05 degrees 19 minutes 37 seconds East a distance of 1,108.40 feet to the north line of said south 212.00 feet of the Northeast Quarter of the Northwest Quarter and said centerline there terminating.

The sidelines of said easement are to be prolonged or shortened to terminate on said north a west lines of the Northeast Quarter of the Northwest Quarter and said north line of the south 212.00 feet of the Northwest Quarter of the Northwest Quarter.

PROPOSED DRAINAGE AND UTILITY **EASEMENT DESCRIPTION FOR PARCEL B**

A perpetual easement for public drainage and utility purposes over, under and across the North 10.00 feet; the South 10.00 feet; the West 10.00 feet; and the East 10.00 feet of the following described property:

The North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all In Section 36, Township 32, Range 23, Anoka County, Minnesota.

DRAY	WN BY: JEN	JOB NO: 200733PP DATE: 06/	30/22
CHEC	K BY: JER	FIELD CREW: BH/BJ	
1	08/29/22	Revise Names	JEN
2	04/04/23	Revised proposed lot lines	
3	04/26/23	Rev. Per City Comments	
4	08/29/23	Rev. Prop. Lot line back to before	
5.	08/30/23	Add Zoning Note	
6	09/05/23	Add Prop. Ingress & Egress Ease.	
NO.	DATE	DESCRIPTION	



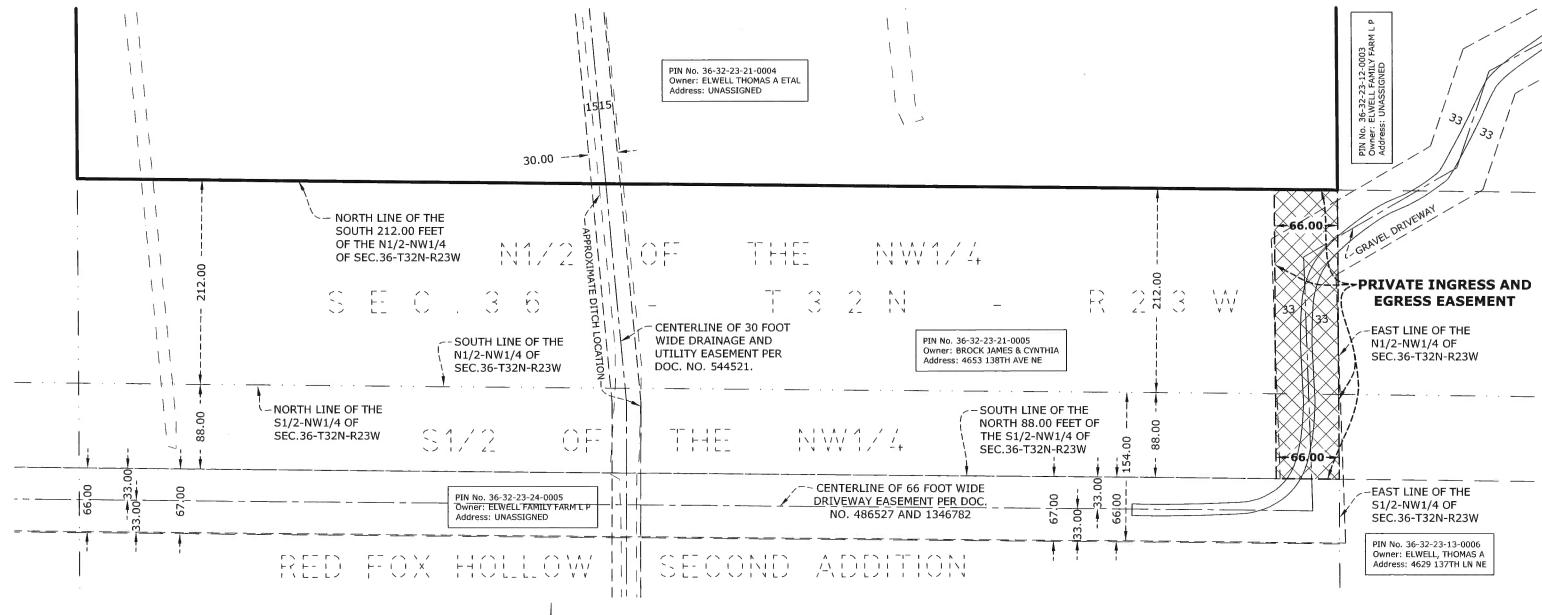
E.G. RUD & SONS. INC.

Professional Land Surveyors 6776 Lake Drive NE, Suité 110 Lino Lakes, MN 55014 Tel. (651) 361-8200 Fax (651) 361-8701

SKETCH AND DESCRIPTION

~for~ TOM AND SALLY ELWELL

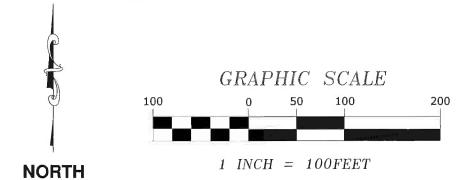
~of~ PRIVATE INGRESS AND EGRESS EASEMENT



PRIVATE INGRESS AND EGRESS EASEMENT DESCRIPTION

A perpetual easement for ingress and egress purposes over and across the east 66.00 feet of the following described property:

The north 88.00 feet of the South Half of the Northwest Quarter and the south 212.00 feet of the North Half of the Northwest Quarter, all in Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota.



LEGEND



PIN No. 17-119-22-14-0008

Owner: City of X

DENOTES PRIVATE INGRESS AND EGRESS EASEMENT (19,802 S.F., MORE OR LESS)

DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

By: Vinnesota License No. 41578

Dated 5th day of September 2023.

	BEARING DATUM: County				SCALE: 1" = <u>100</u> '
t	REVISIONS			JOB NO.200733PP	
	1				DATE: <u>09-05-23</u>
	2				DRAWN BY: JEN
	NO.	DATE	DESCRIPTION	ву	CREW: TBD
_	NO.	DATE	DESCRIPTION	BY	CKLW. TBD

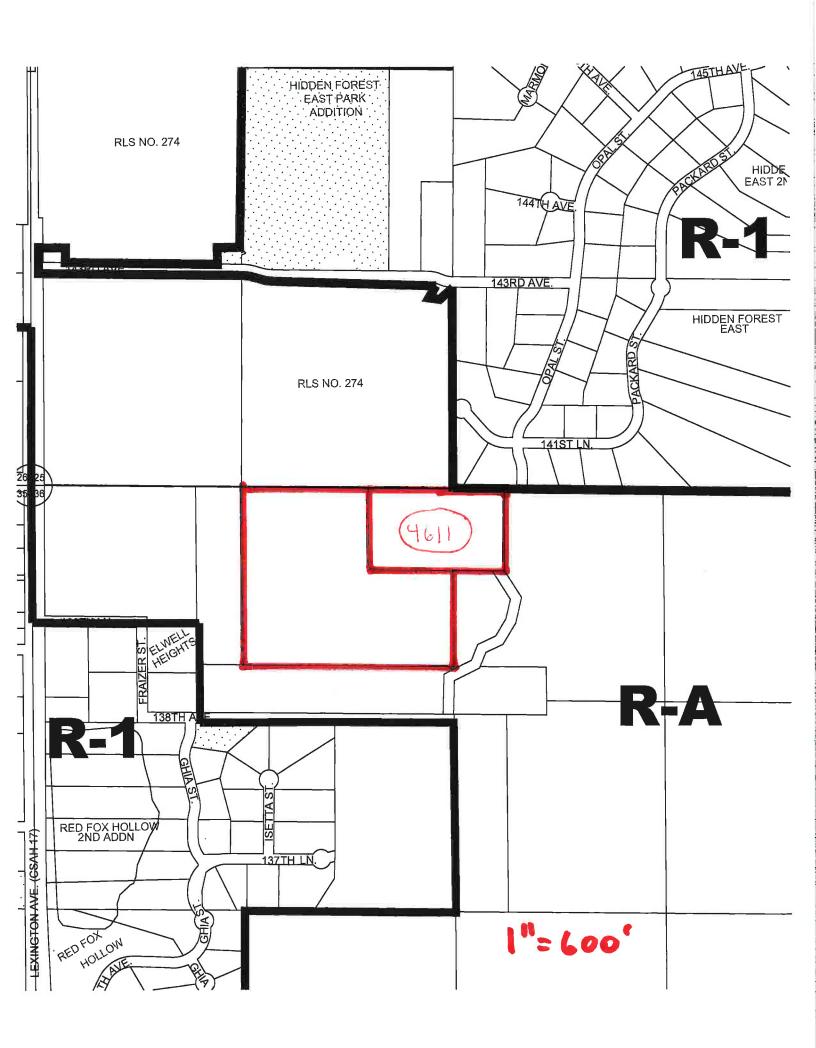


E. G. RUD & SONS, INC.
Professional Land Surveyors

7 Professional Land Surveyors 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014 Tel. (651) 361-8200 Fax (651) 361-8701 www.egrud.com



1"=400"



N 1/2 SECTION 36, T. 32, R. 23 CITY OF HAM LAKE N.E. CORNER SEC. 36 [10] [1] COLUMBUS -8139TH -- AVENUE -- N.E. -8-\$138¸ŢӇ҉ AVE.≅< RED FOX 6 [6] 137TH LANE N.E. 99 2 [4] (24) (13) E 1/4 CORNER SEC. 36 QUARTER QUARTER INDEX ANOKA COUNTY SURVEYOR'S OFFICE THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR 22 | 21 | 12 | 11 Section Township Range Number Number Number GRAPHIC SCALE Quarter Specific Quarter Parcel ROOM 224 23 | 24 | 13 | 14 2100 3RD AVENUE REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED. XX XX XX XXXX 32 | 31 | 42 | 41 ANOKA, MN 55303 SCALE IN FEET 33 | 34 | 43 | 44 SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1] EXAMPLE OF PIN NUMBER; 36-32-23-13-0006 (763) 324-3200 Last Revised: November 01, 2017 03/27/2023 7:24:16 AM, Date Printe

Tradewell Soil Testing 18330 Dahlia Street NW Cedar, MN 55011

Date: April 24th, 2023

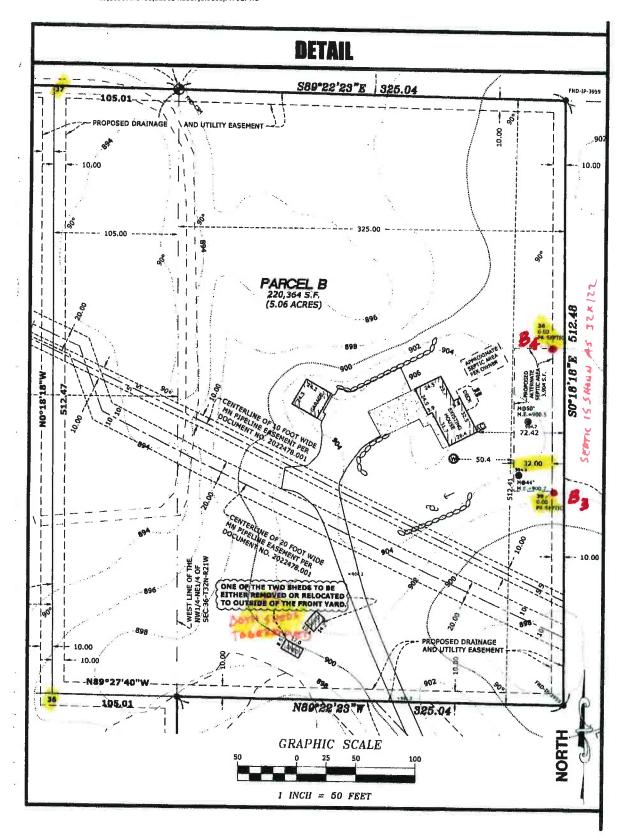
Name: Tom Elwell

Address: 4629 137th Lane NE, Ham Lake, MN

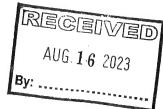
SOIL BORING TEST REPORT

Boring #1	Boring #2	Boring #3	Boring #4
0"- 10" Topsoil (Fill)	0"- 10" Topsoil (Fill)	0"- 10" Topsoil	0"- 8" Topsoil
Loamy Fine Sand	Loamy Fine Sand	Loamy Fine Sand	Loamy Fine Sand
10YR 3/1	10YR 3/1	10YR 3/1 3/2	10YR 3/1 3/2
10"- 26"	10"- 26" (Fill)	10"- 30"	8"- 20"
Fine Sand	Fine Sand	Fine Sand	Fine Sand
10YR 4/4	(Mottled)	10YR 4/6 4/4	10YR 3/4 4/4
26"- 62"	26"- 64"	30"- 40"	20"- 48"
Medium Fine Sand	Medium Fine Sand	Fine Sand	Fine Sand
10YR 5/4	10YR 5/4 5/3	10YR 4/3 5/3	10YR 5/4 5/3
	With Loamy Bands		
	7.5YR 4/4		
Mottles @ 44"	Mottles @ 50"	Mottles @ 14"	Mottles @ 20"
Dry Hole	Dry Hole	Dry Hole	Dry Hole

Mark Tradewell MPCA #307 36,168902.7208,529235.5487,0.0000,pric 37,169415.1792,529232.8210,0.0000,pric 38,169201.8718,529653.9623,0.0000,PR-SEPTIC 39,169079.8735,529654.6117,0.0000,PR-SEPTIC







CITY OF HAM LAKE

15544 Central Avenue NE Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697
Date of Application 5-15-2023 Date of Receipt
Receipt #
Meeting Appearance Dates: Planning Commission 9-25-23 City Council
Please check request(s): Metes & Bounds Conveyance Sketch Plan Preliminary Plat Approval* Final Plat Approval Rezoning* Multiple Dog License* Commercial Building Site Certificate of Occupancy Home Occupation Permit Conditional Use Permit (New)* Conditional Use Permit (Renewal)
*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.
Development/Business Name: HFN Knoputies, LCC / Hildurtantent
Development/Business Name: HFN Roperties, LLC Holden Fernt East 4 Address/Location of property: Enst OF Lexing to ~ - 143 mediant
Legal Description of property:
Legal Description of property: 24-32-23-44-0001 + 25-32-23-12-0002 PIN # 25-32-23-11-0002 + 0008 Current Zoning P-1 Proposed Zoning
Notes: 22 Single Family Residential Lots 3 Outlots
Applicant's Name: Jest Stalbuger
Business Name: HFN Properties, LLC
Address 17404-WATO 4K. Dr. NW
City Andone State Mr Zip Code 55304
Phone Cell Phon 4/2-799-/47/ Fax
Email address 57ALLY 68 @ MSN. COM
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does
not begin to run until all of the required items have been received by the City of Ham Lake.
SIGNATURE Joy L. Stally DATE 8-15-7023

- FOR STAFF USE ONLY - ACTION BY: Planning Commission
City Council PROPERTY TAXES CURRENT YES NO



Office (763) 862-8000 Fax (763) 862-8042

Memorandum

Date:

September 21, 2023

To:

Planning Commissioners

From:

David A. Krugler, City Engineer

Subject:

Hidden Forest East 4th Addition

Introduction:

The Final Plat, Title Sheet, Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart, and Floodplain Exhibit were received September 19th and the FEMA Exhibit was received September 20th. The Utility Plan – Storm Sewer Plan/Profile, Outlet Structures, Details, Stormwater Pollution Prevention Plan and Stormwater Drainage Report were received May 16th for the 22-lot residential development located on the 112.96 combined acres of contiguous parcels 24-32-23-44-0001, 25-32-23-11-0002, 25-32-23-11-0008 (Outlot A - Hidden Forest East 3rd Addition) and 25-32-23-12-0002.

Discussion:

The Final Plat conforms to the Preliminary Plat and Plans that received City Council approval on July 5th. Outlots A, B and C will be required to be conveyed to adjacent properties within the Development Agreement. These Outlots are anticipated to be included in future platting.

The dedication of Hidden Forest East Park Addition parkland was compensation for parkland dedication of 56.67 acres of Hidden Forest East 3rd Addition and 9.57 acres of Hidden Forest East 4th Addition per the attached memo from Attorney Murphy. The final plat for Hidden Forest East 3rd Addition showed three lots relabeled as Outlot A from the preliminary plat. The City collects a maximum of \$2,500 per lot depending on upland area for each lot. Per correspondence with Public Works Superintendent John Witkowski, it is recommended that parkland dedication fees be collected for the remaining 103.39 acres rather than the dedication of parkland or trail easement. This development will have access to the 27.12-acre park within the Hidden Forest East Park Addition through the streets of Hidden Forest East 2nd and 3rd Additions to the south.

An Encroachment Agreement will be required due to the Lot 10, Block 1 septic sewer pipe that will cross the drainage and utility easement. FEMA Letters of Map Amendments are required for Lots 1, 2, 3, 5, 6 and 7 of Block 1, and Lots 2 and 3 of Block 3. The Development Agreement will stipulate that these lots are not eligible for a building permit until the Letter of Map Amendment is approved by FEMA. The yard area for Lot 1 Block 2 is identified within the right-of-way of the Hidden Forest East 3rd Addition plat as shown in the attached vacation exhibit. A public hearing will be scheduled for the vacation of the roadway and cul-de-sac as dedicated with the Hidden Forest East 3rd Addition plat.

The NPDES/MPCA Construction Stormwater Permit has been obtained, the Wetland Bank Credit Withdrawal was verified and the DNR Endangered Plants Takings Permit submittal was received. The Coon Creek Watershed District issued the attached Permit on July 25th. The Permit was amended when a Geotechnical Evaluation Report was received on August 7th 2023 which identified higher groundwater levels than was shown in February 2023 Water Level Readings Memo taken between November 2022 and February 2023 that the low floor elevations were based on for the Preliminary Plat approval. As a result of this Report, the low floors elevations have been adjusted in the revised plans.

Recommendations:

It is recommended that the Final Plat of Hidden Forest East 4th Addition be recommended for approval.

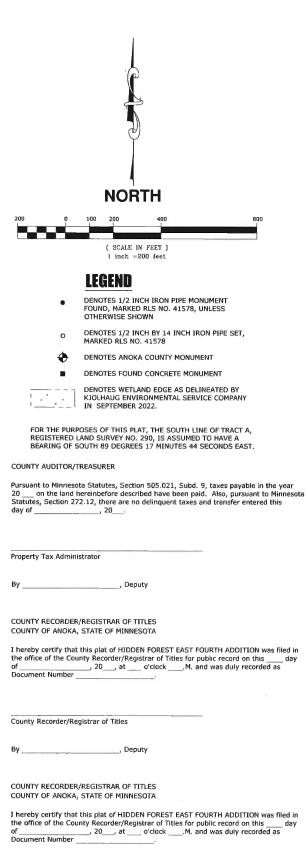
David M. Ziegimeier

Anoka County Surveyor

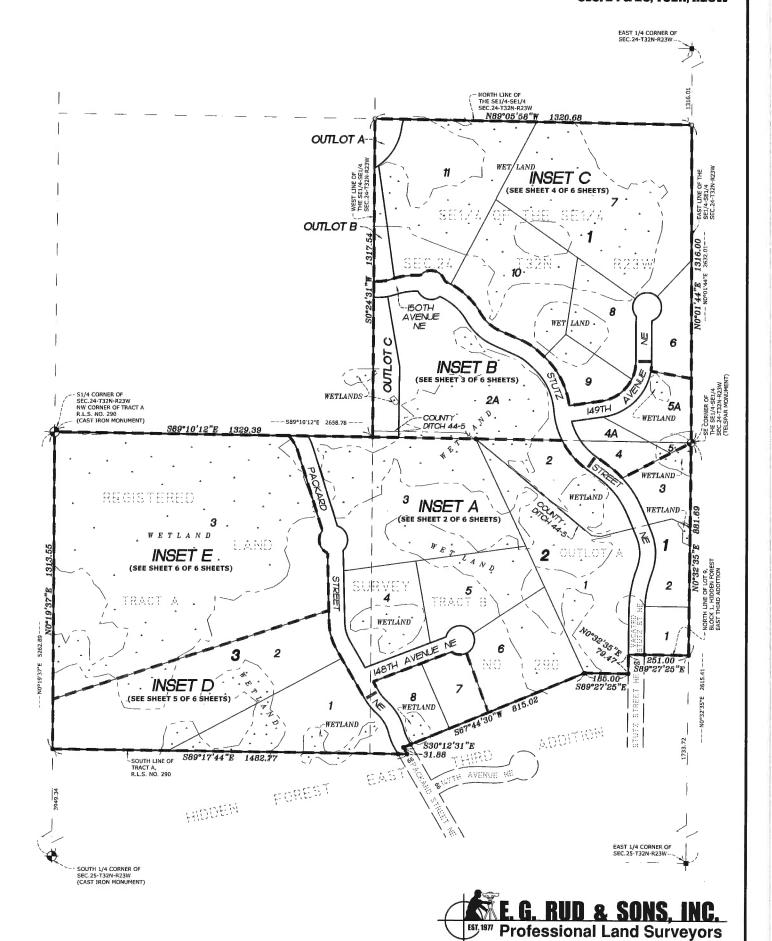
HIDDEN FOREST EAST FOURTH ADDITION

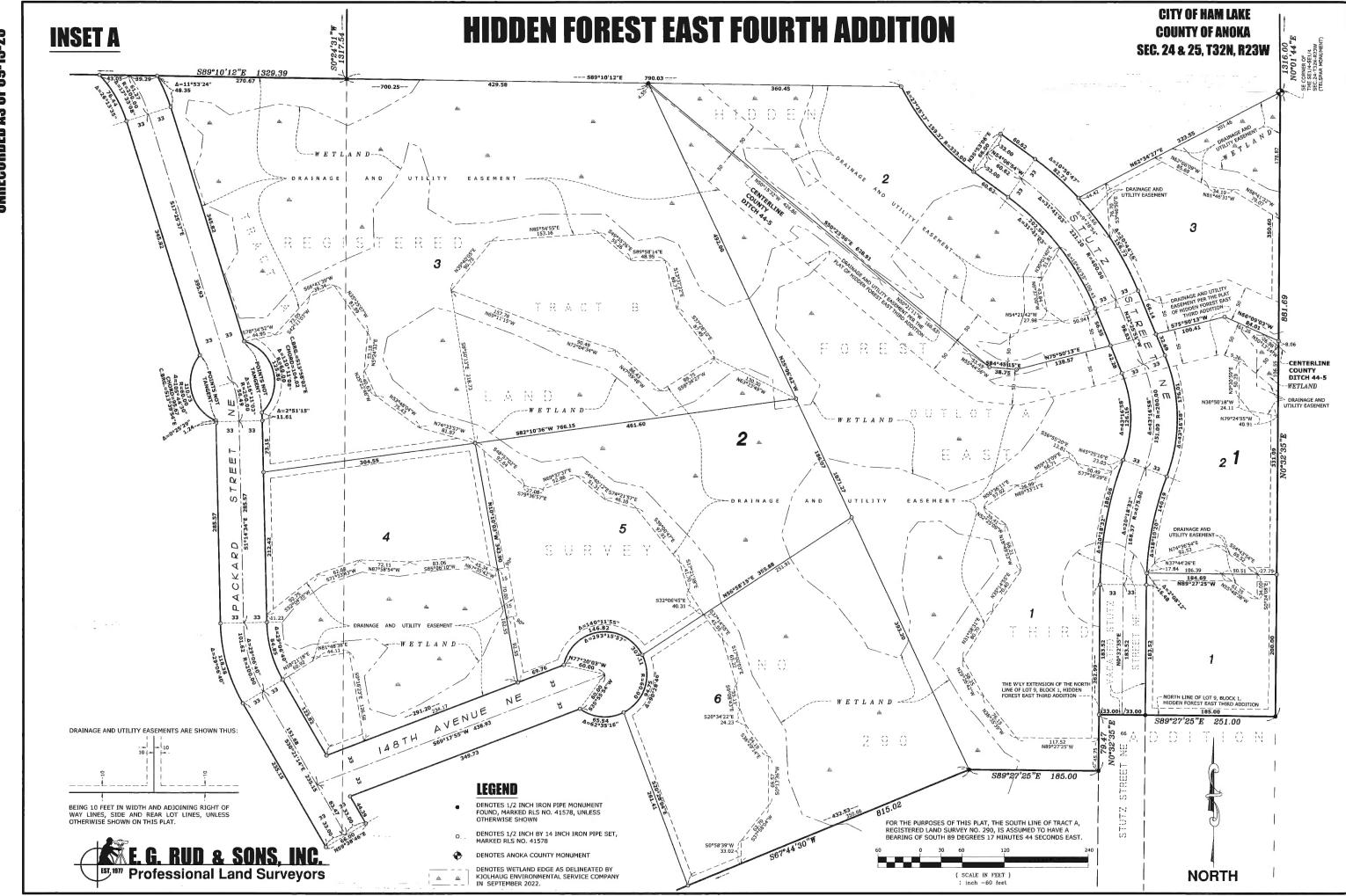
CITY OF HAM LAKE COUNTY OF ANOKA SEC. 24 & 25, T32N, R23W

KNOW ALL PERSONS BY THESE PRESENTS: That HFN Properties, LLC, a Minnesota limited liability company, OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota. Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota. The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Vacated Stutz Street, described as follows: That part of Stutz Street as dedicated on the recorded plat of HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota, which lies north of the westerly extension of the northerly line of Lot 9, Block 1, HIDDEN FOREST EAST THIRD ADDITION. Has caused the same to be surveyed and platted as HIDDEN FOREST EAST FOURTH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat. In witness whereof said HFN Properties, LLC, a Minnesota limited liability company, has caused these presents to HFN PROPERTIES, LLC Jeffrey A. Stalberger, Co-administrator STATE OF COUNTY OF This instrument was acknowledged before me this _____ day of _____, 20__ Stalberger, Co-administrator of HFN Properties, LLC, a Minnesota limited liability company. _, 20__ by Jeffrey A. (Signature) (Print Name) Notary Public, County, Minnesota My Commission Expires I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat. Dated this ____ day of _______, 20___. Jason E. Rud, Licensed Land Surveyor STATE OF MINNESOTA This instrument was acknowledged before me this ___ day of ___ , 20 by Jason E. Rud. (Signature) (Print Name) Notary Public, County, Minnesota CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA This plat of HIDDEN FOREST EAST FOURTH ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this ____ day of ____, 20___, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2. City Council, City of Ham Lake, Minnesota COUNTY SURVEYOR I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of County Recorder/Registrar of Titles



, Deputy

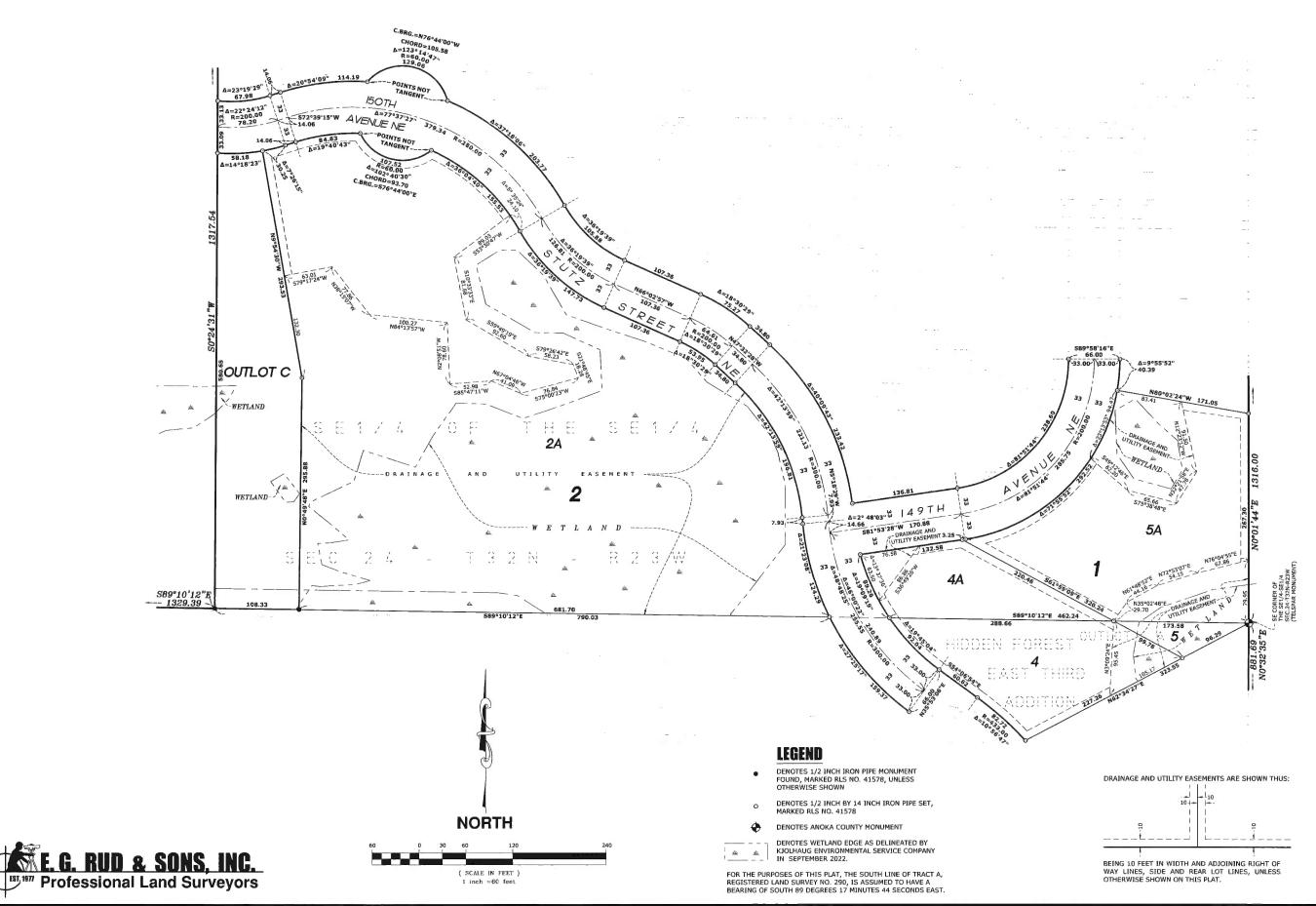




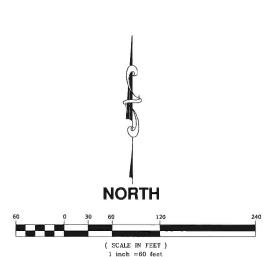
INSET B

HIDDEN FOREST EAST FOURTH ADDITION

CITY OF HAM LAKE COUNTY OF ANOKA SEC. 24 & 25, T32N, R23W







LEGEND

O DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578

DENOTES WETLAND EDGE AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICE COMPANY IN SEPTEMBER 2022.

FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF TRACT A, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 17 MINUTES 44 SECONDS EAST.

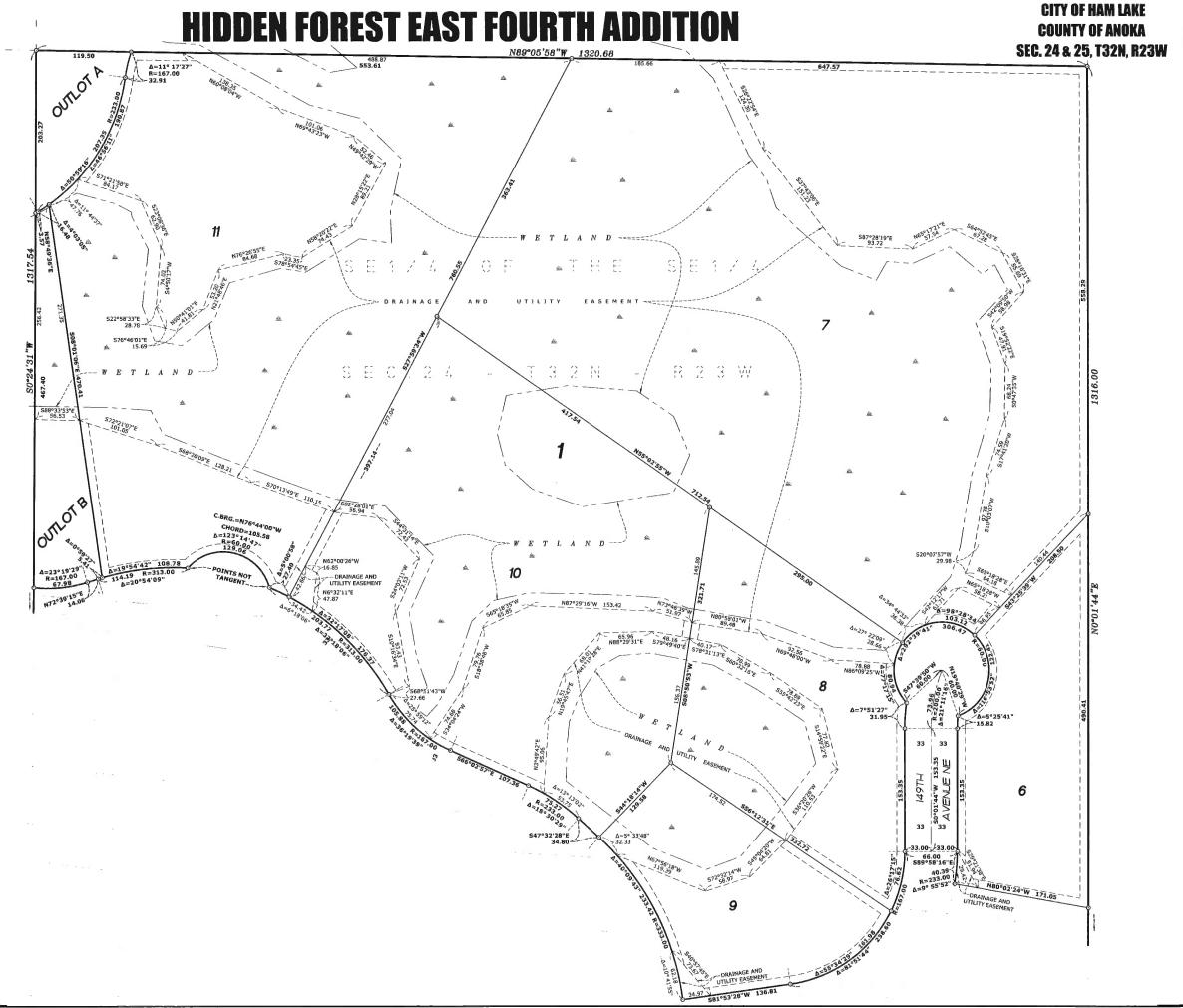
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT

E.G. RUD & SONS, INC.

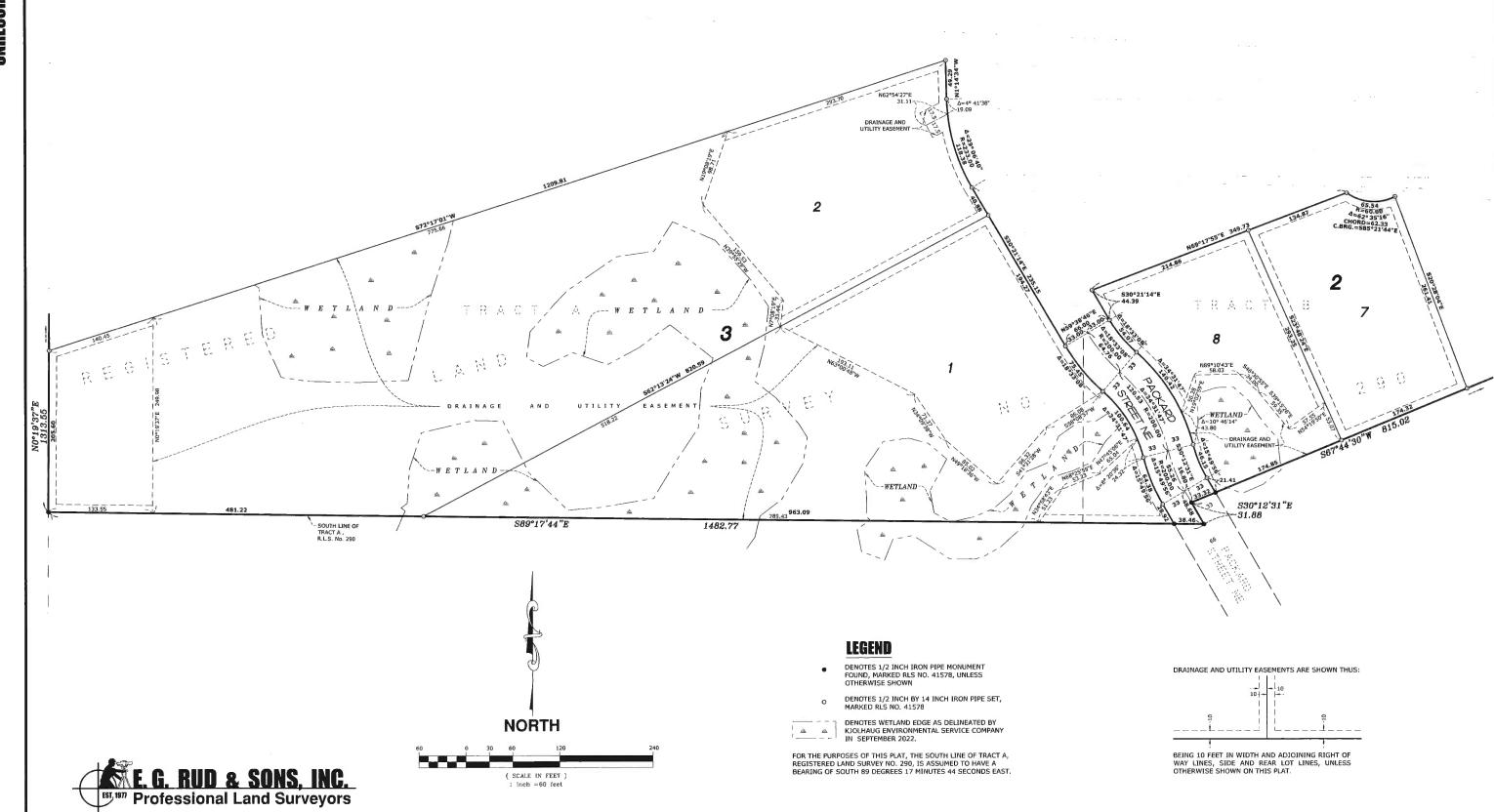
IST. 1977 Professional Land Surveyors

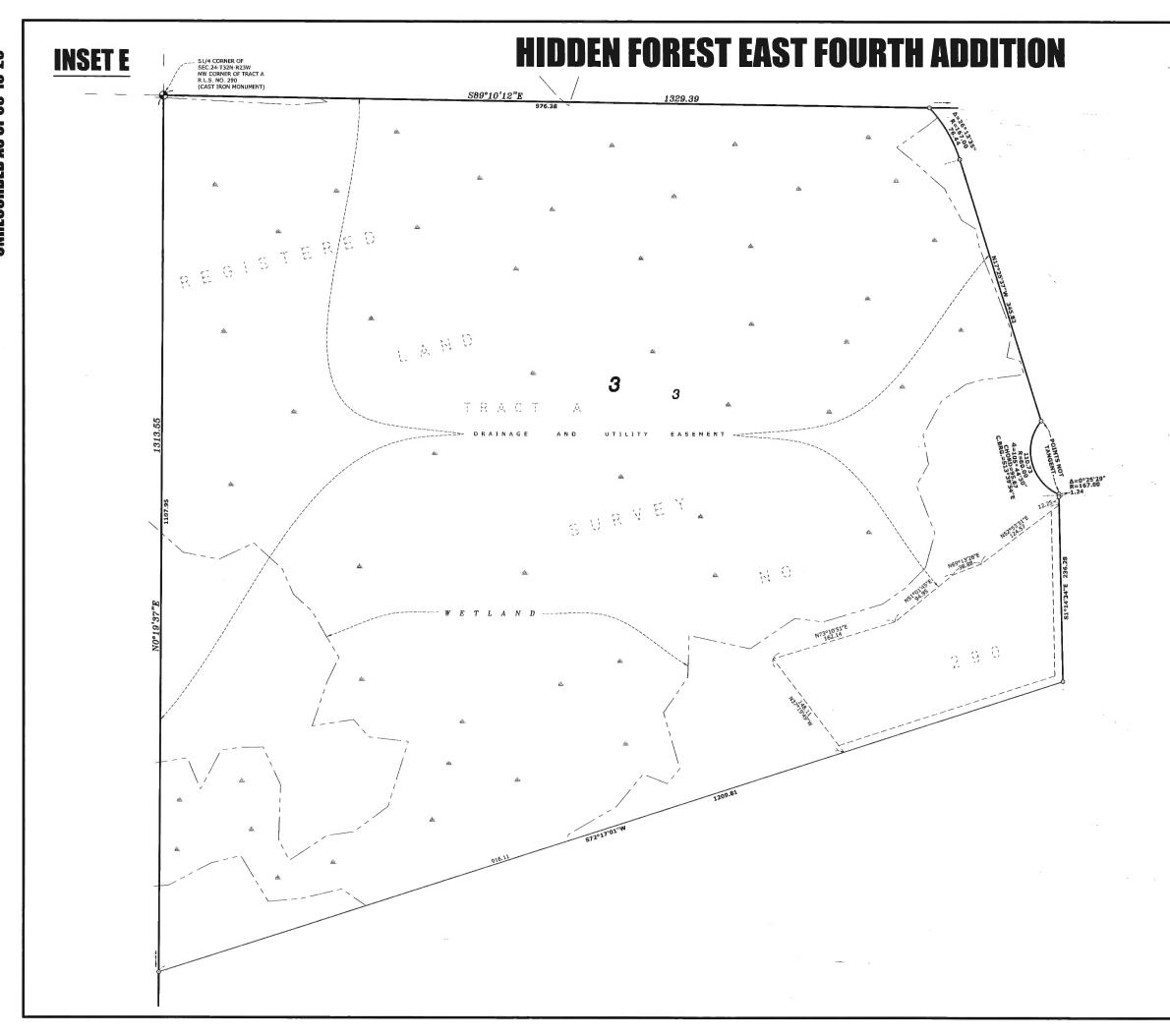


INSET D

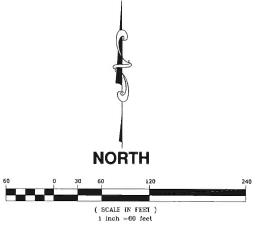
HIDDEN FOREST EAST FOURTH ADDITION

CITY OF HAM LAKE COUNTY OF ANOKA SEC. 24 & 25, T32N, R23W





CITY OF HAM LAKE **COUNTY OF ANOKA** SEC. 24 & 25, T32N, R23W



LEGEND

DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578



DENOTES ANOKA COUNTY MONUMENT



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BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.



TITLE SHEET

~of~ HIDDEN FOREST EAST 4TH ADDITION

~for~ HFN PROPERTIES, LLC. 17404 WARD LAKE DRIVE NW ANDOVER, MN 55304 (612) 799-1471

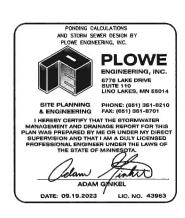
VICINITY MAP

PART OF SECS. 24 AND 25, TWP. 32, RNG. 23

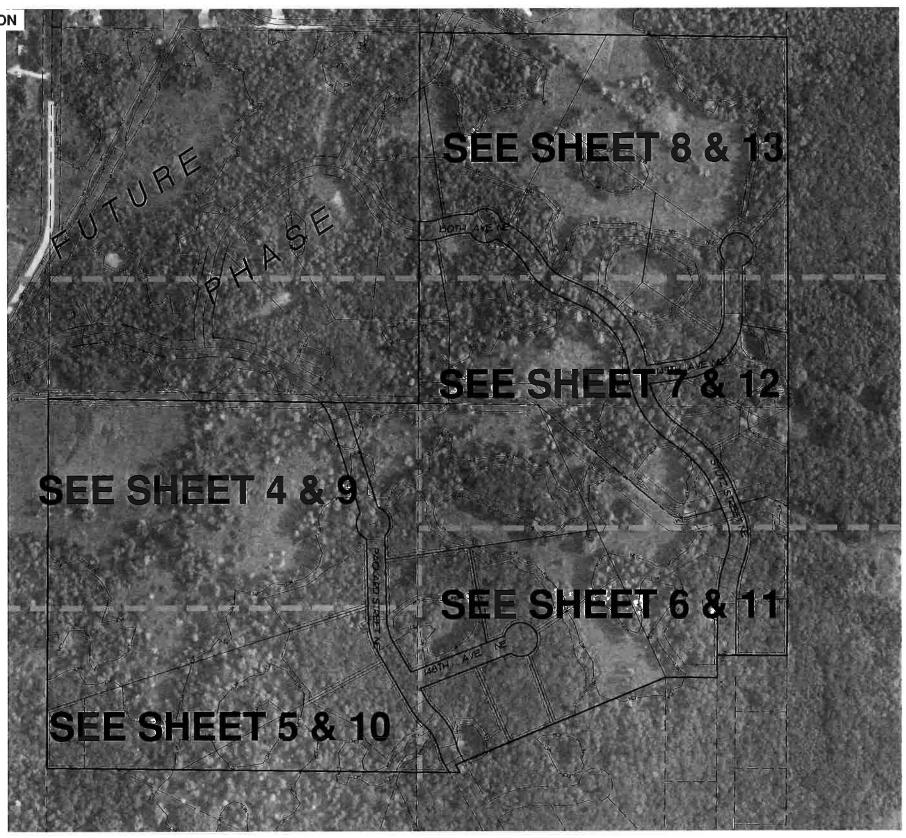
ANOKA COUNTY, MINNESOTA (NO SCALE)

SHEET INDEX

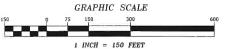
TITLE SHEET T1 PRELIMINARY PLAT 2-3 **GRADING PLAN** 9-13 LIVABILITY PLAN 14-15 **LIVABILITY CHART** FLOODPLAIN EXHIBIT 16 PLAN / PROFILES C1.1 - C1.6 C2.1 - C2.3 **DETAILS & NOTES** C3.1 - C3.2 STORMWATER POLLUTION PREVENTION PLAN











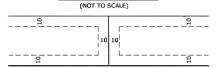
1 INCH = 150 FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Date: 09/19/2023 License No. 41578

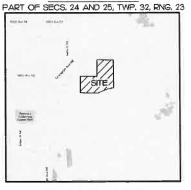
PRELIMINARY PLAT ~of~ HIDDEN FOREST EAST 4TH ADDITION ~for~ HFN PROPERTIES, LLC. 17404 WARD LAKE DRIVE NW ANDOVER, MN 55304 (612) 799-1471

TYPICAL EASEMENTS



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

VICINITY MAP



ANOKA COUNTY, MINNESOTA (NO SCALE)

LEGEND

DENOTES ANOKA COUNTY CAST IRON MONUMENT DENOTES LIDAR CONTOURS (2' INTERVAL) DENOTES DRAINAGE AND UTILITY EASEMENT DENOTES BUILDING SETBACK LINE DENOTES WETLAND LINE DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES INC. DENOTES WETLAND BUFFER LINE DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0335E PANEL NO. 0355 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015. DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.



DENOTES WETLAND FILL

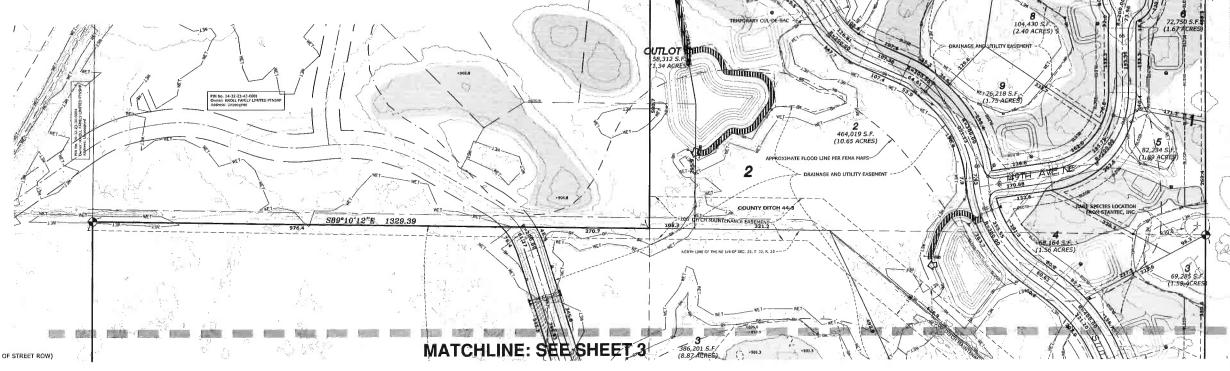
DENOTES EXISTING AREA 1' ABOVE MOTTLING

DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

NOTES

24-32-23-44-0001 25-32-23-12-0002 25-32-23-11-0002 25-32-23-11-0008

OWNERS: HFN PROPERTIES, LLC KNOLL FAMILY LIMITED PTNSHP BEXELL, REBECCA M



DEVELOPMENT DATA

TOTAL SITE AREA = 112.96± ACRES OUTLOT AREA = 2.35± ACRES

22 PROPOSED SINGLE FAMILY LOTS

3 PROPOSED OUTLOTS

AVERAGE LOT SIZE = 5.03± ACRES MINIMUM STREET FRONTAGE = 200 FEET

MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)

BUILDING SETBACKS FRONT = 30 FEET SIDE = 10 FEET REAR = 50 FEET COUNTY ROAD = 50 FEET



183, 1977 Professional Land Surveyors 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014 Tel. (651) 361-8200 Fax (651) 361-8701



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.



PROPERTY DESCRIPTION OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.

Tracts A and B. REGISTERED LAND SURVEY NO. 290. Anoka County, Minnesota

The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota

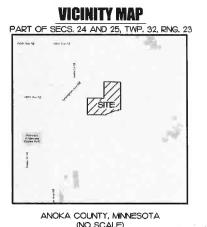
PIN No. 24-32-23-41-0001 Owner: BEXELL, REBECCA M Address: Unassigned

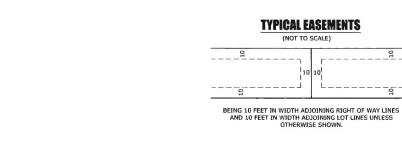
435,652 S.F.

ORTH LINE OF THE SE 1/4 OF THE SE 1/4 OF SEC. 24, T. 32, R. 23 N89°05'58"W 1320.68 134

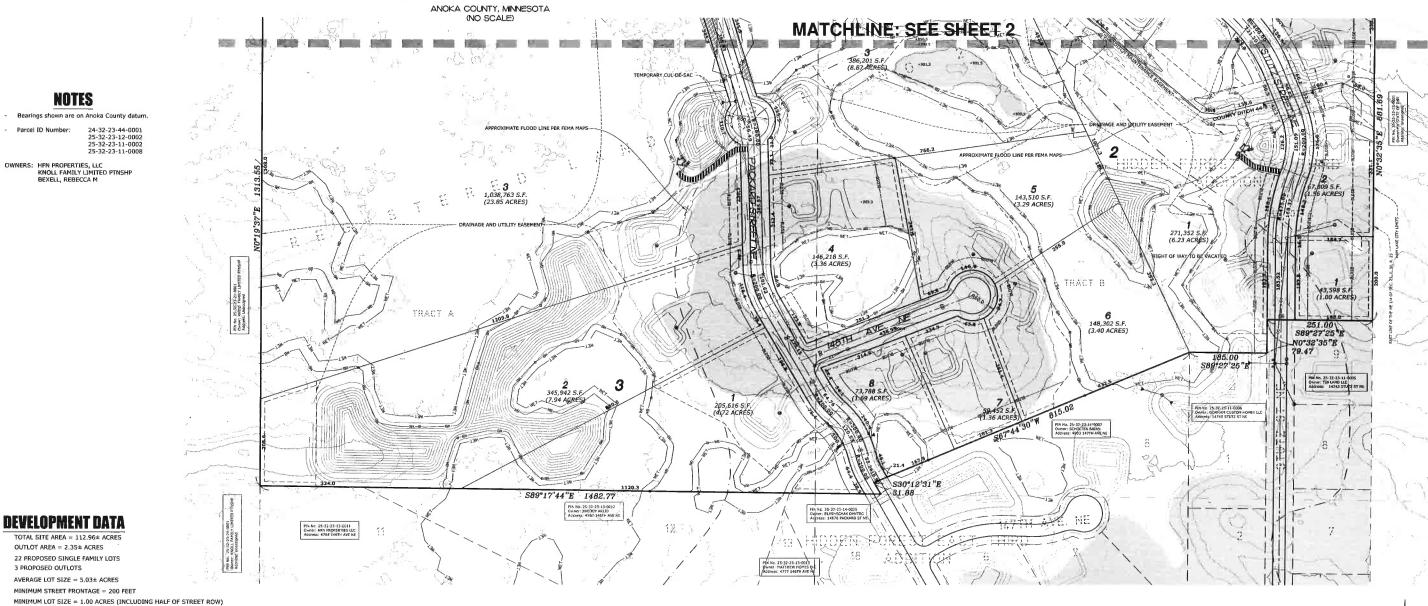
NORTH

PRELIMINARY PLAT ~of~ HIDDEN FOREST EAST 4TH ADDITION ~for~ HFN PROPERTIES, LLC. 17404 WARD LAKE DRIVE NW ANDOVER, MN 55304 (612) 799-1471 **NOTES** 24-32-23-44-0001 25-32-23-12-0002 25-32-23-11-0002 25-32-23-11-0008



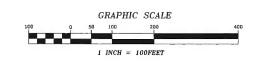








PROPOSED ZONING = R-1



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under

Date: 09/19/2023 License No. 41578

PROPERTY DESCRIPTION

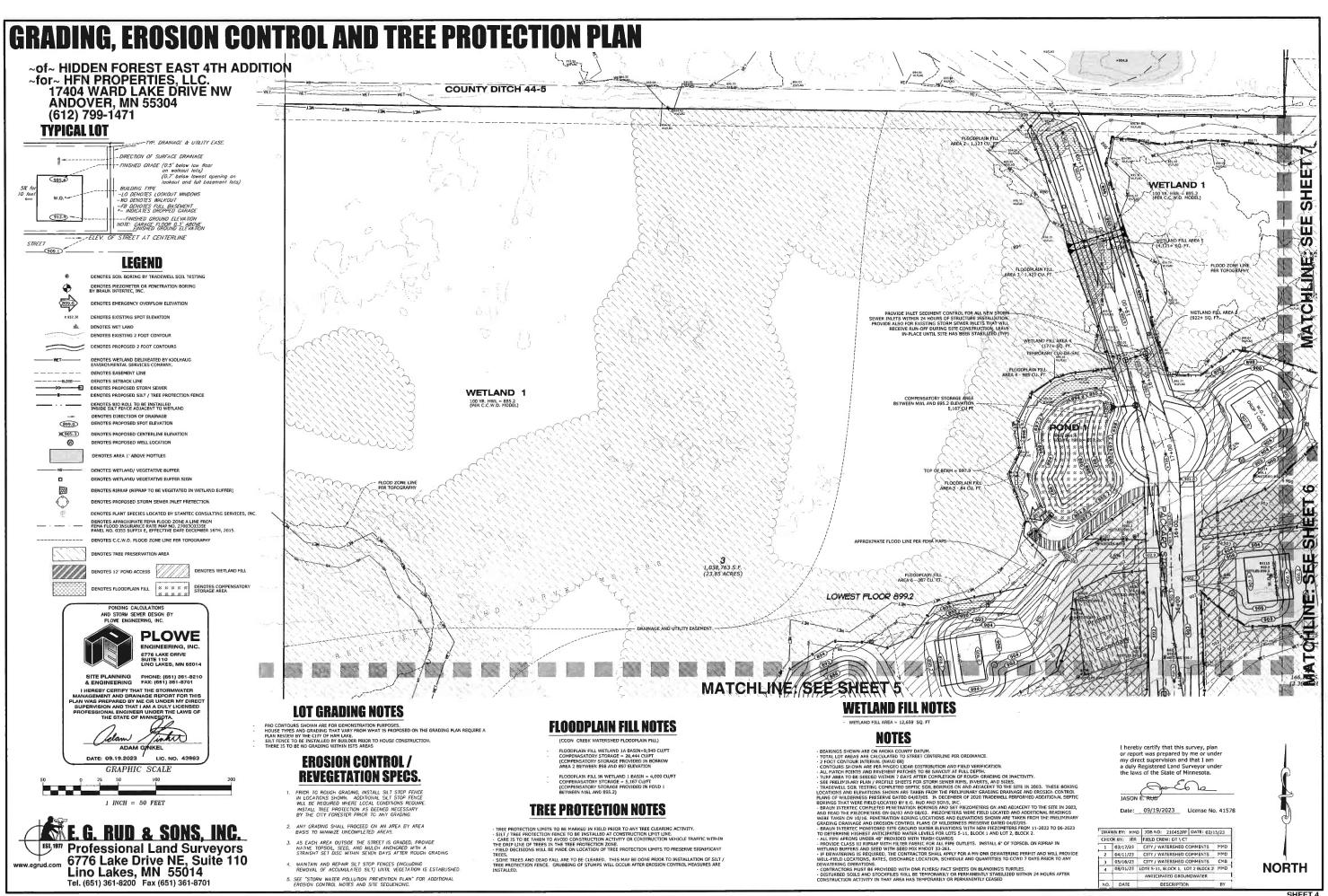
OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota

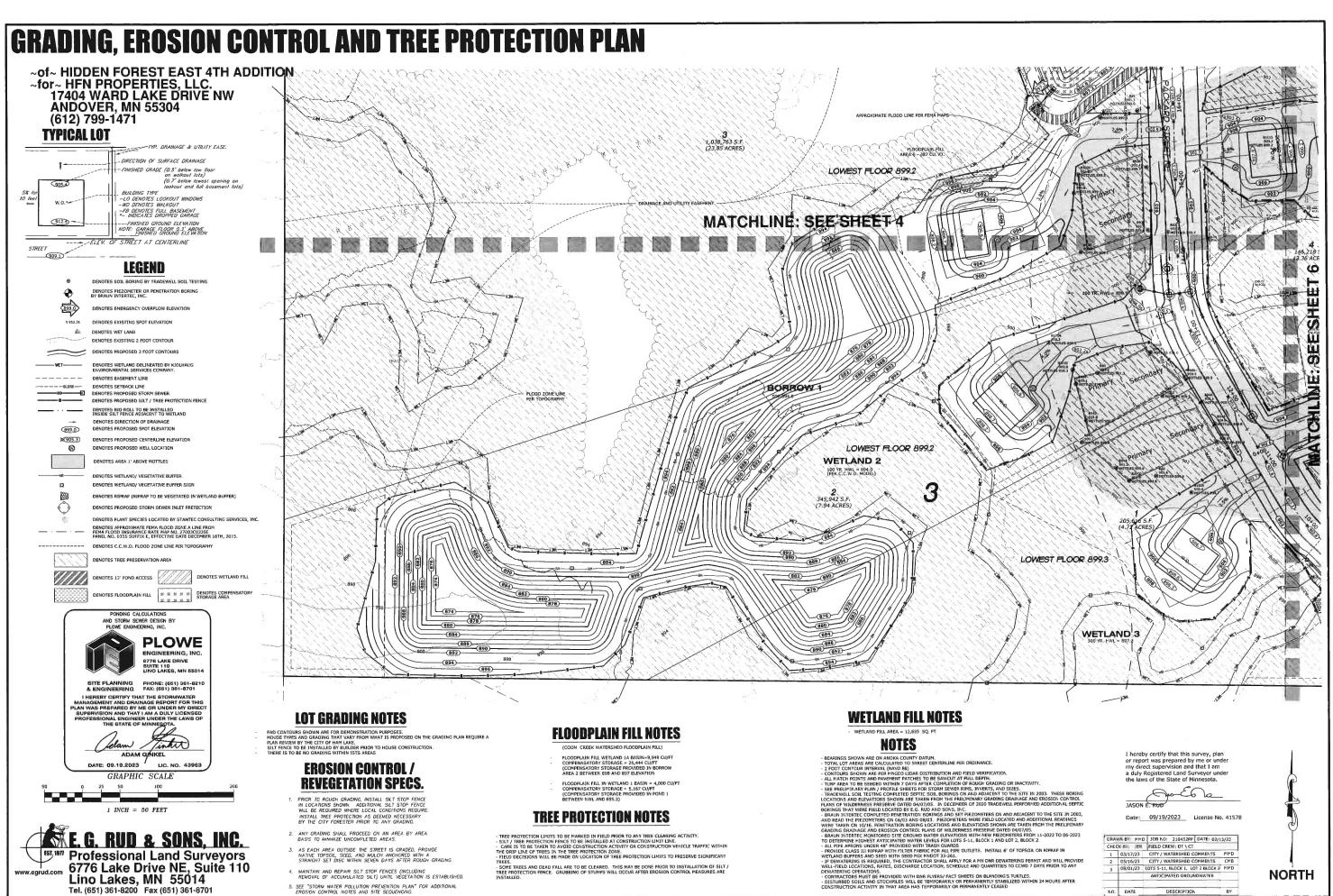
Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota

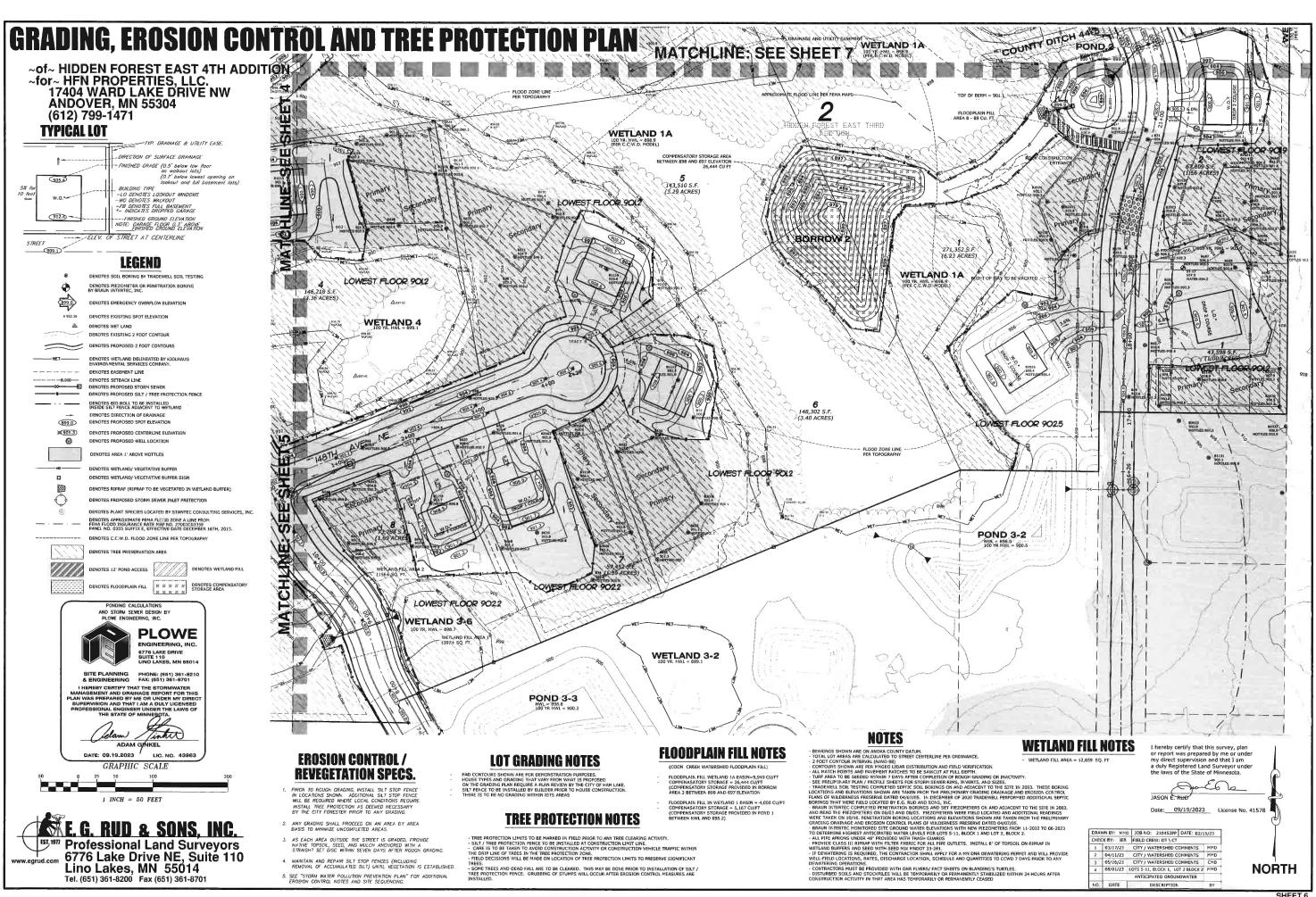
The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota

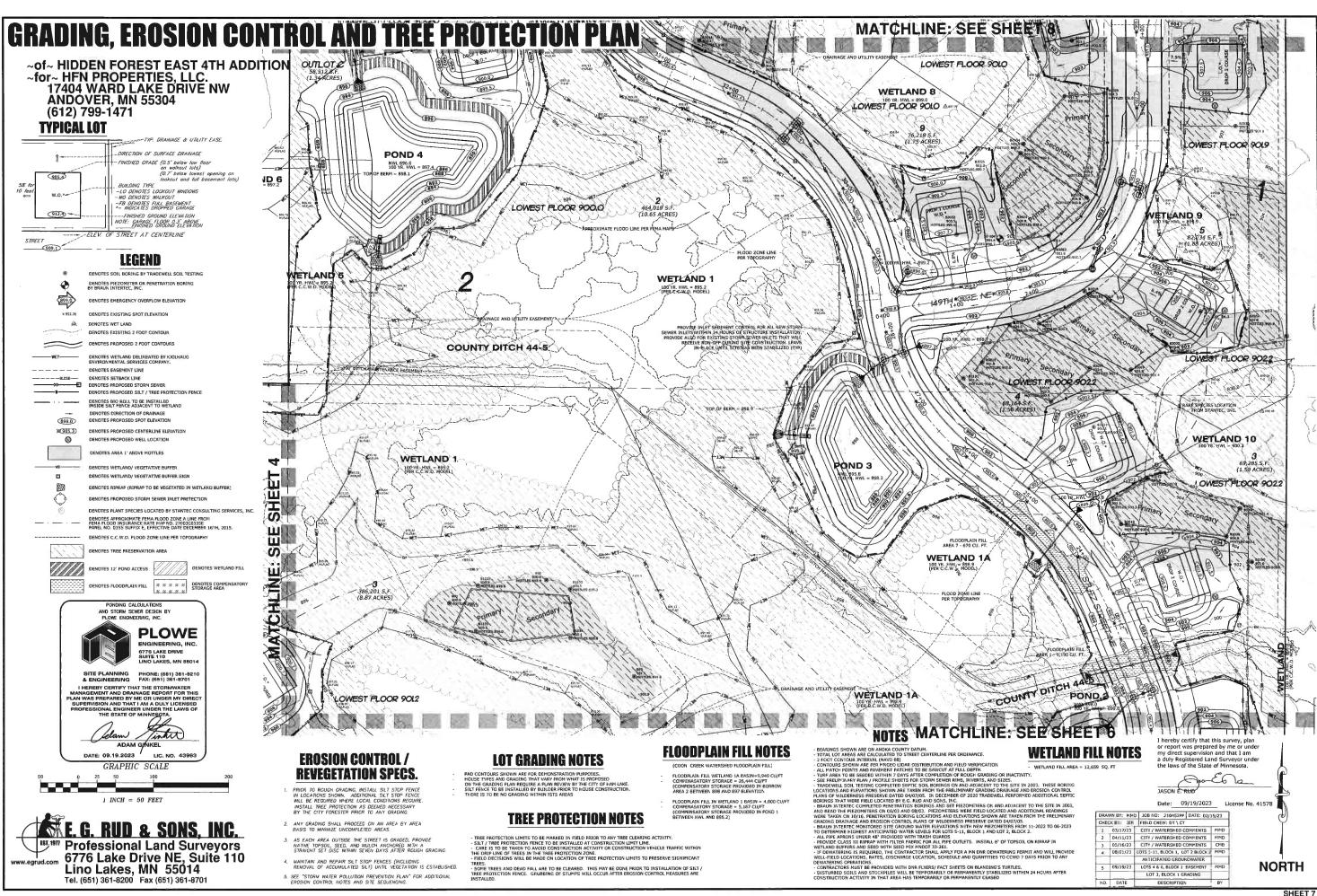
D	JOB NO: 210452PP DATE: 02/	15/23	1
	FJELD CREW; DT \ CT		
Γ	CITY / WATERSHED COMMENTS	MMD	
	CITY / WATERSHED COMMENTS	MMD	1
Г	LOT 1 BLOCK 1	MMD	NODT
Γ	LOT 3 BLOCK 1 GRADING	MMD	NORTH

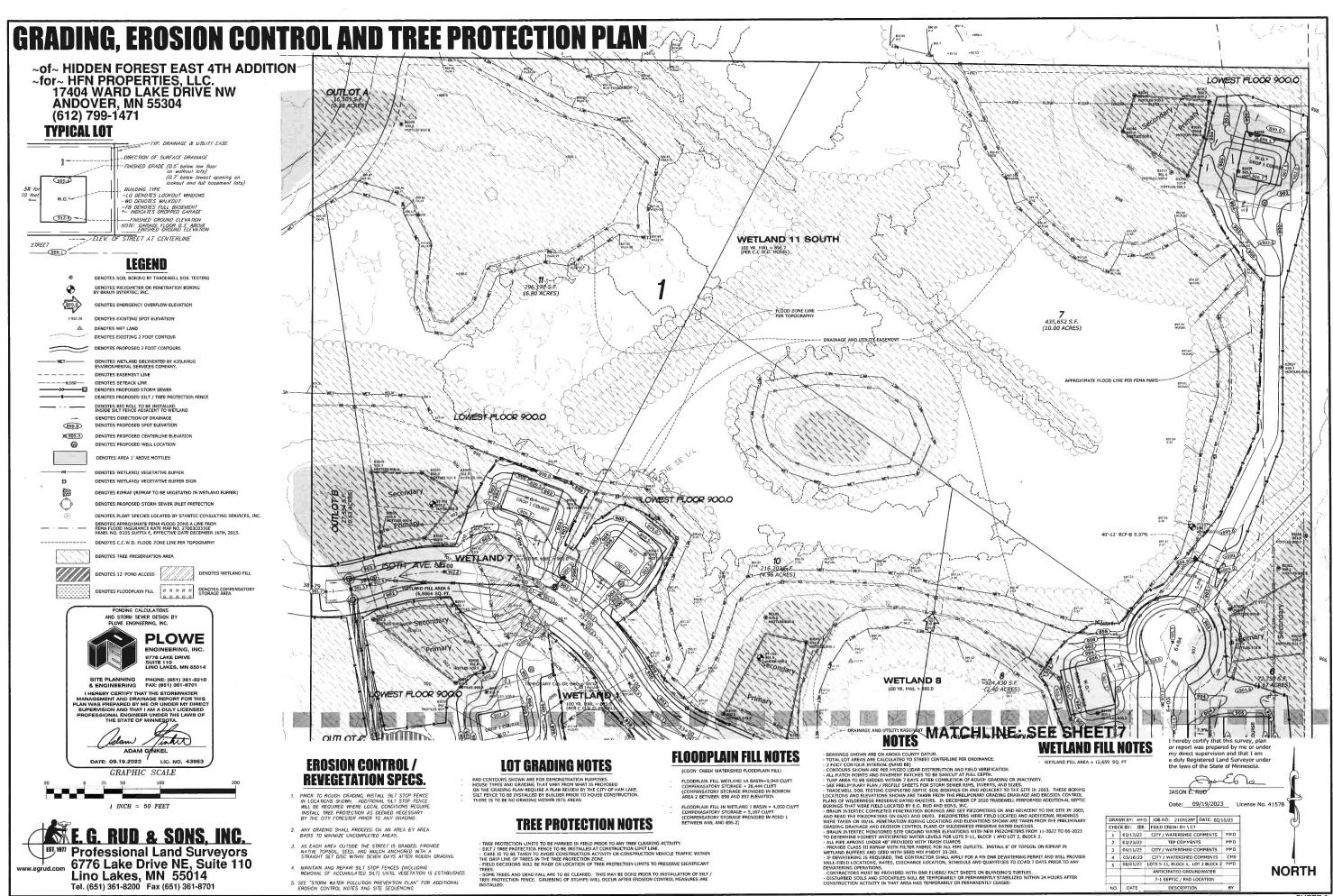
03/17/23 CITY / WATERSHED C 04/11/23 CITY / WATERSHED C 08/01/23 LOT 1 BLOCK

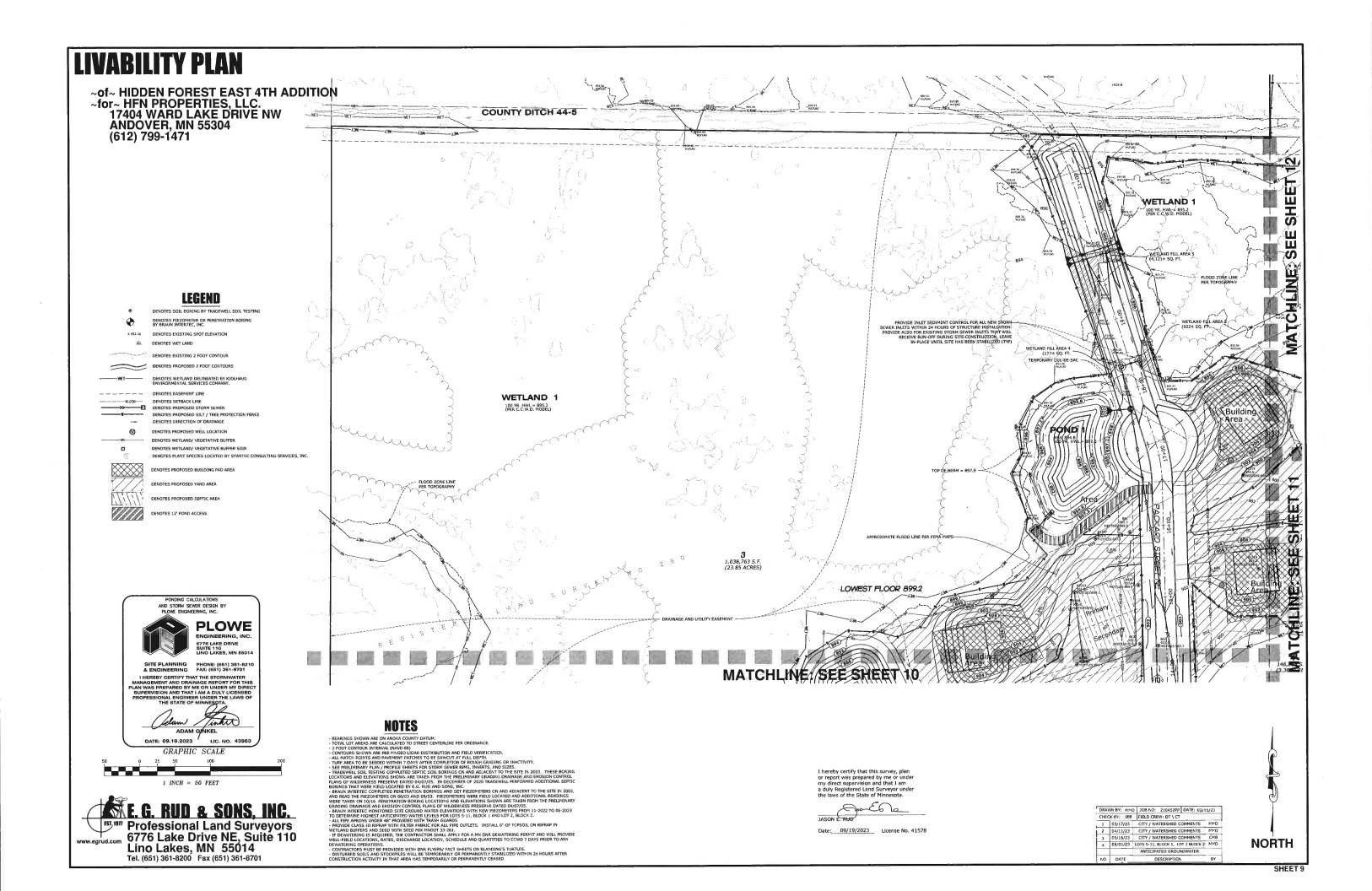


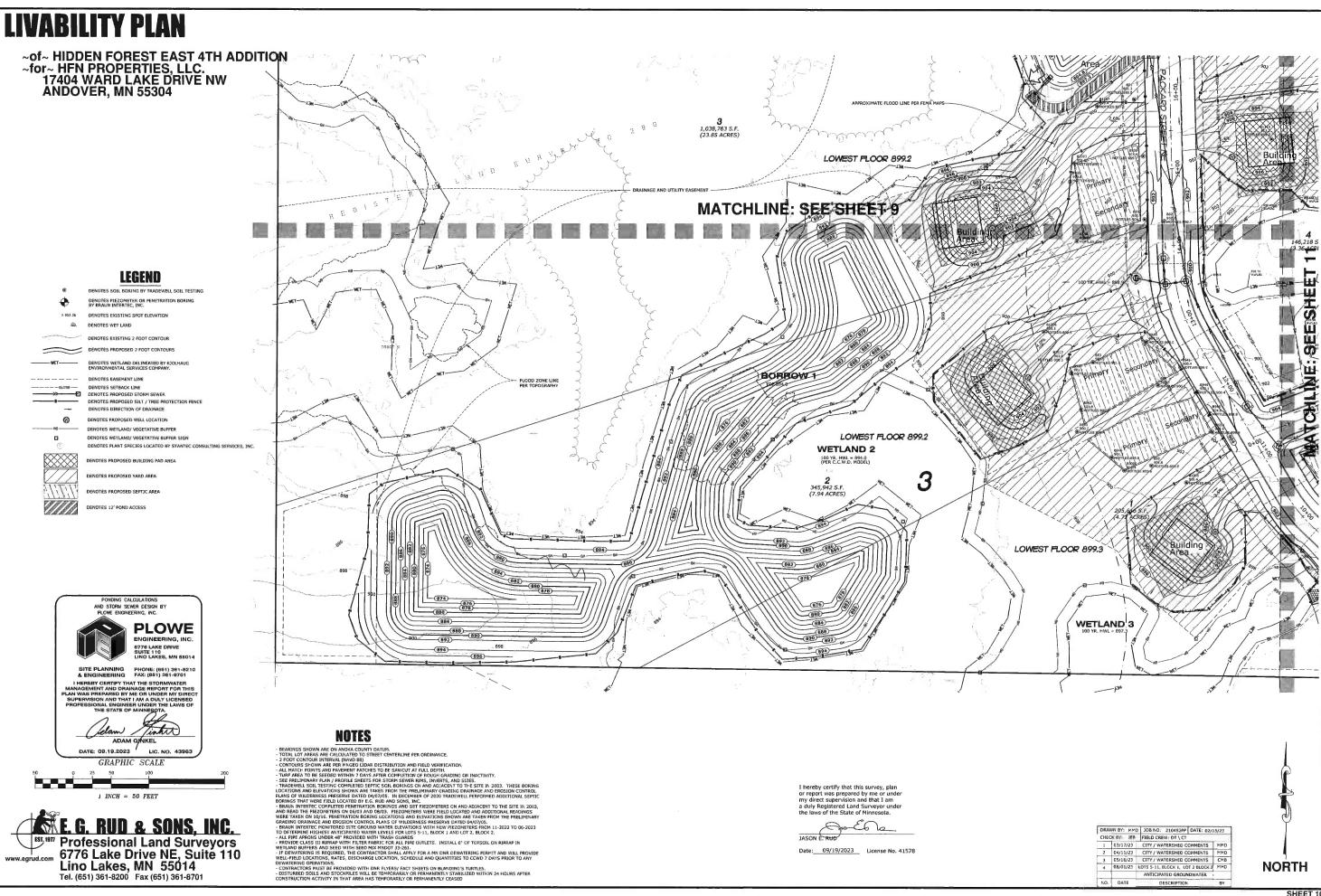


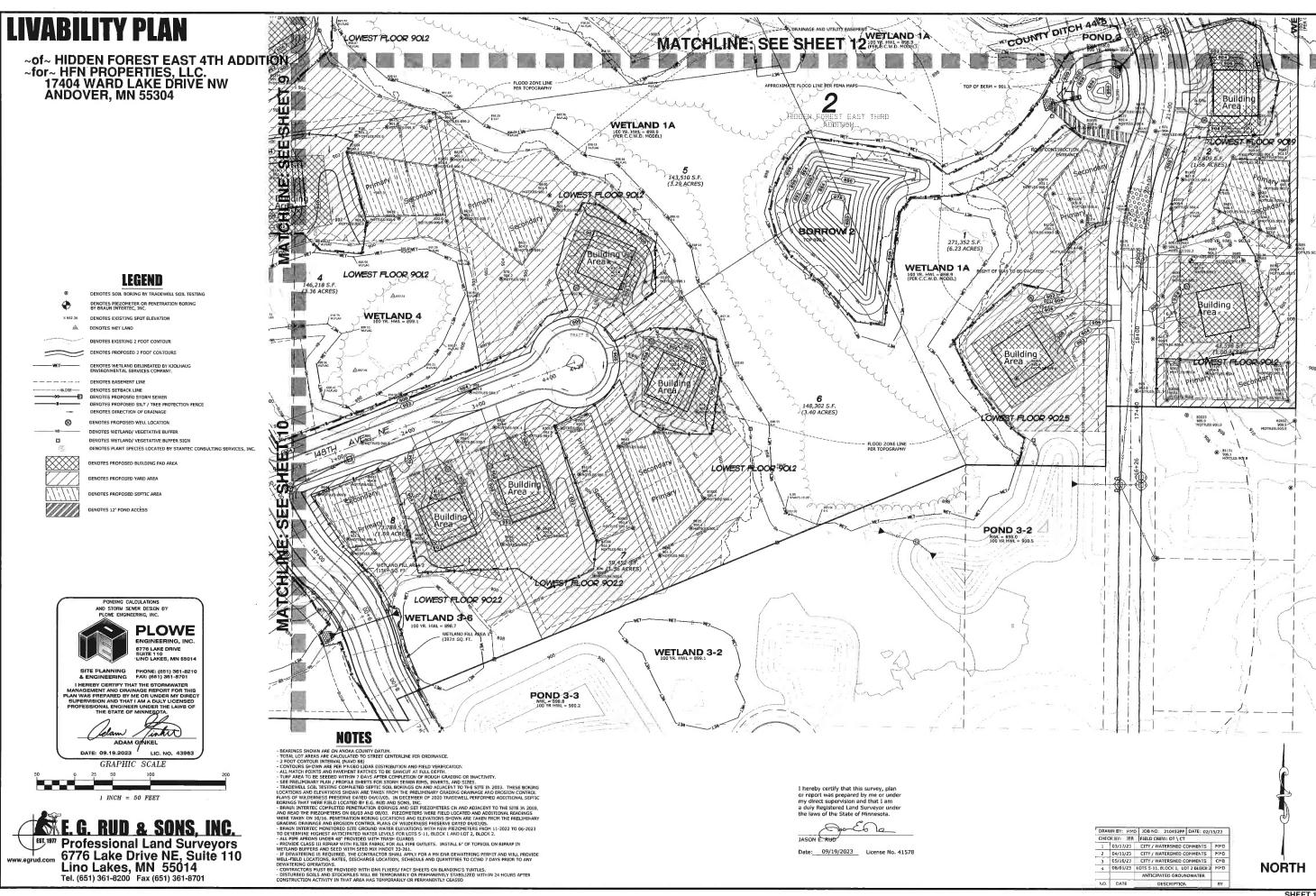


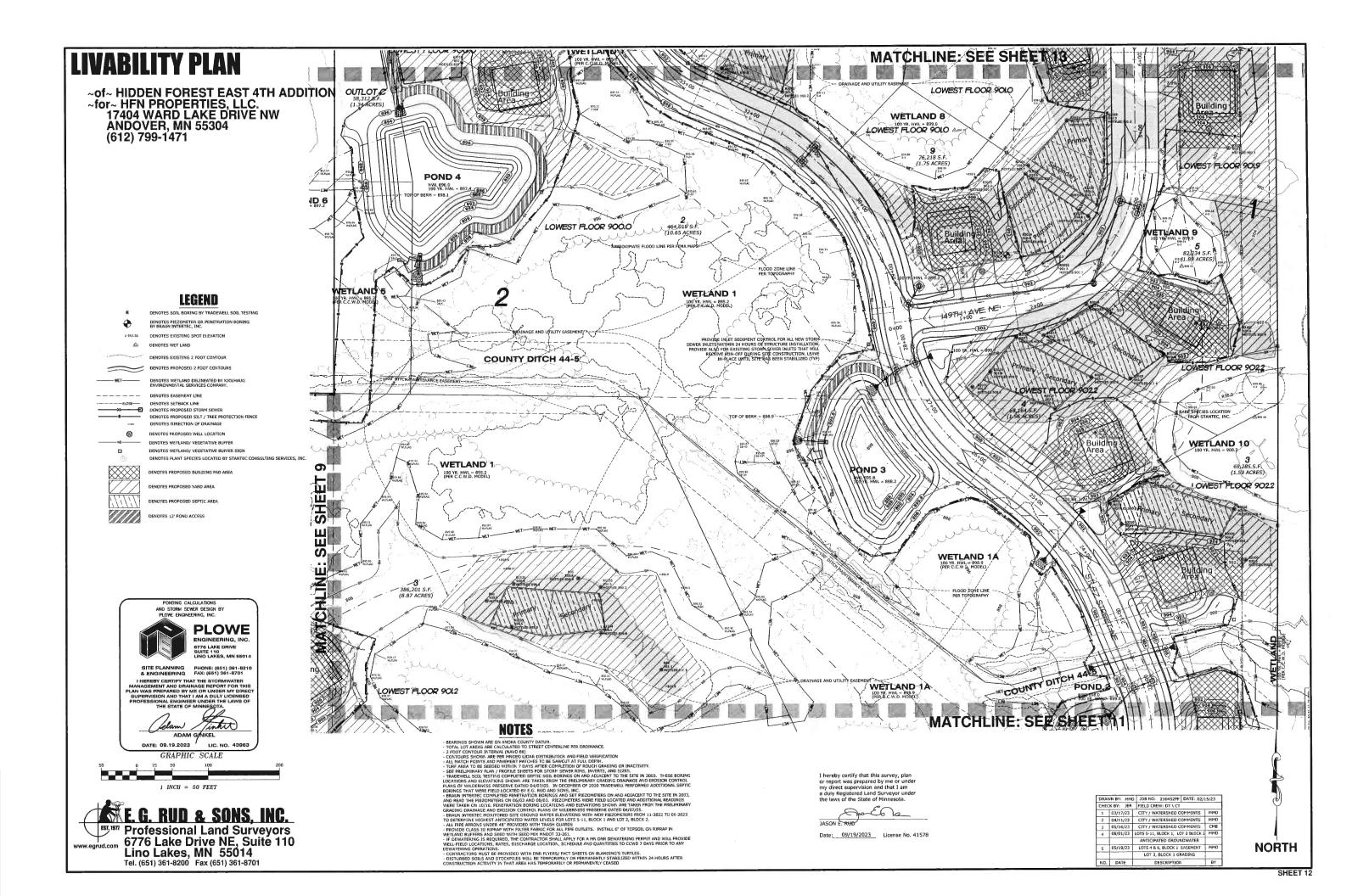


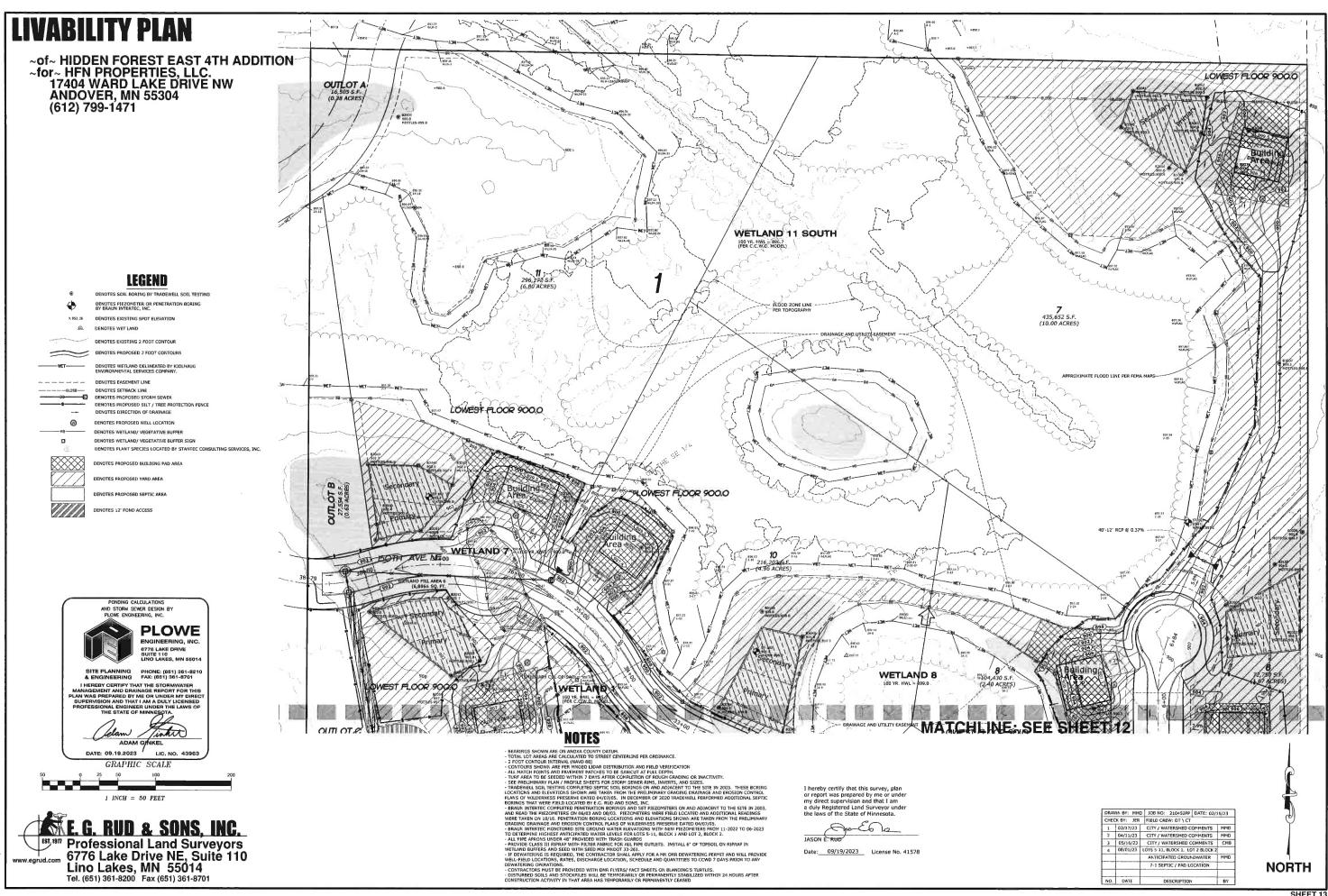












LIVABILITY CHART

~of~ HIDDEN FOREST EAST 4TH ADDITION ~for~ HFN PROPERTIES, LLC. 17404 WARD LAKE DRIVE NW ANDOVER, MN 55304 (612) 799-1471

Livability Standards
All residential lots shall contain at least 29,500 square feet of land which lies above the
100 year flood contour. Of this 29,500 square feet, the following additional requirements
must be present.

A. ISTS Area Each lot must contain at least 7,500 square feet of contiguous area which is reserved for both the ISTS originally constructed and a future ISTS. The ISTS Area read to the contiguous to the Eligible building Area or the Yard Area, Insquitable Solis, and must contain underture and area of the Yard Area, Insquitable Solis, and must contain underturead solis or sells within theel the requirements of Rule 7080 of the Minnesota Pollution Control Agency for ISTS construction standards. The ISTS Area may be irregular in shape, provided they do not encroach into areas reserved by easement or otherwise for roadway, drainage or utility purposes, and provided that of the area can be reasonably used for ISTS construction without the need for variances.

B. Eligible Building Area Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least four feet above Unsuitable Soils. The Eligible Building Area may not be Irregular in shape, and should be generally rectangular or ovoid, with no panhandles, narrow necks or peninsulas. Eligible Building Areas may not encroach into any areas reserved by essement or otherwise for roadnay, crianage or utility purposes. Pill may be used to create Eligible Building Area.

C. Yard Area Each lot shall contain at least 12,000 contiguous square feet which:

C. Yard Area Each lot shall contain at least, 12,000 contiguous square feet which:

1) Les at both the 100 year Flood contour, and

1) Les at least one foot above soils unsuitable for the intended usage of

11) Les at least one foot above soils unsuitable for the intended usage of

111) Is contiguous to the Eligible Building Area for a distance of at least.

1161 year control of the lineal perimeter of the Eligible Building Area.

121 Yard Areas may encroach into the decidated easement area which lies at a distance of

122 the first perimeter of the file, and may encroach into area reserved by

123 easement or otherwise for other public utility purposes, but may not encroach into any

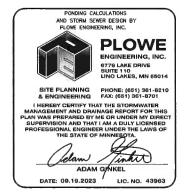
124 not public public public public public public public public public provided into any

125 not public p

D. Building Pad Areas The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.

I) For wilkiout designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

I) For other designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year floor contour, not less than one of on above unsuitable soils, as determined by the City's engineer.



											Highest	1					
											Anticipated	Low Floor	1				
Lot	Block			Septic Area (sq. ft)				Proposed Low			Groundwarer		Boring #	Boring	Mottles	Building	
		(sq. fl.)	(sq. fl.)	(sq. ft.)	(sq ft.)	4' Above Unsuitable (sq. ft.)	Elevation	Floor Elev.	Opening	Elevation	Elevation	Factor	07.17	Elevation	Elevation	Туре	Graded
1	1	43,598	17,925	8,117	10,098	8,450	910.2	903.9	907.1	901.2	898.2	Anticipated Groundwater	ST-17 69	907.3 902.6	894.2 (W) 901.1	L.O.* DROP	NO
												Grounowater	688	905.3	902.3	2 COURSE	-
													689	903.4	902.4	I GGG/AGE	
													690	906.4	903.9		
													691	904.4	900,6		
													1130	908.9	NONE		
													2068	903.8	900.6		
													2069 2070	906.1 908.5	901.4 903.5		-
						_							2071	907.9	903.2		-
2	1	67,809	22,631	8,068	10,188	5,005	908.5	902.2	902.2	901.9	898.2	PER	72	903.1	901.9	W.O.*	NO
	<u> </u>	07,003	22,007	0,000	10,100	0,000	500.0	DUL.L	COLLE	00110		WETLAND	73	904.3	902.5	DROP	
												HWL	681	906.5	902.3	2 COURSE	
													682	906.3	901.1		
													683	903.3	901.8		
													684	903.5	901.8 902.4		
										1			686 1129	907.1	902.4		
												1	2024	903.9	901.6		
													2072	906.6	902.3		
													2073	908.4	904.4		
													3007	904.9	901.6		
													3058	903.8	902.6		
			10.000									-	3059	904.8	903.1	MOT	NO
3	1	69,285	16,779	8,140	10,244	5,016	908.8	902.5	902.5	902.2	898.2	PER WETLAND 10	2100 3008	902.0 903.9	900.6	W.O.* DROP	NO
	-	-										HWL	3008	903.9	901.4	2 COURSE	\vdash
	1									·	t		3010	902.1	900.6	CCOMOE	-
												1	3011	902.1	900.3		
		Ì						-					3012	903.8	901.0		
4	1	68,164	27,581	7,973	10,196	6,710	909.5	902.5	902.5	902.2	898.2	PER	2101	901.7	900.5	W.O.*	NO
												WETLAND 10		901.3	900.5	DROP	
												HWL	3014	902.2	900.9	1 COURSE	
	1												3015	901.8	900.0		
	-		-			-				-	1	-	3016 3057	903.5 903.1	900.2		_
5	1	82,234	27,398	7,991	10,643	4,963	8.809	902.5	902.5	902.2	897.0	PER	2102	902.0	900.9	W.O.*	NO
		02,234	21,000	1,001	10,040	4.505	550.5	BUL.U	552.5	002.2	007.0	WETLAND 10		905.2	900.2	DROP	-110
			1									HWL.	3018	903.7	900.7	2 COURSE	
			1										3019	902.9	901.4		
													3020	902.6	901.3		
	_												3021	903.1	901.3		1.00
6	1	72,750	42,404	8,068	10,200	5,580	908.2	901.9	905.1	901.9	897.0	PER	2103	901.1	899.9	L.O.*	NO
	_											WETLAND 9	3032 3033	901.4 905.7	901.1	2 COURSE	-
	_		-				-					HWL	3034	903.4	900.9	2 COUNGE	
	-		· · · ·					-		1			3035	901.9	900.8		
										1			3036	901.9	900.7		
7	1	435,652	116.791	7,882	10.616	4,653	907.0	900.0	900.0	900.0	897.0	Anticipated	ST-103	898.1	897.0 (W)	W.O.*	NO
												Grouncwater	2106	901.6	900.6	DROP	
										ļ			3037	899.1	898.6	1 COURSE	
	_		-							-		-	3038 3039	904.2	900.4		\vdash
			-			-							3040	903.1	900.1		-
	1									 			3041	901.7	900.2		
		1	t									T	3060	901.8	900.6		
													3061	904.8	900.8		
													3062	902.7	900.2	10.5	100
8	1	104,430	17,299	7,720	11,054	4,036	907.6	901.3	901.3	901.0	897.0	PER	2104	900.9	899.7	W.O.*	NO
						_		-				WETLAND 8		901.3	900.3	DROP 2 COURSE	\vdash
			_				1			1		HWL	3028 3029	904.3	901.0	E COONSE	\vdash
	+		-				—			+	<u>† </u>	 	3030	905.0	902.7		
9	1	76,218	17,814	7,975	10,190	4,979	908.0	901.0	901.0	901.0	897.0	PER	ST-104	901.4	896.7 (W)	W.O.*	NO
					_							WETLAND 8	3022	900.5	899.5	DROP	
												HWL	3023	901.8	900.7	1 COURSE	
										-			3024	900.8	899.8		
			-				-						3025	902.2	900.7		\vdash
			-			-	-	 	<u> </u>	-	 		3026 3031	901.5	900.5 900.6	-	\vdash
10	1	216,203	28,776	9,021	10,514	4,933	907.7	900.0	900.0	900.0	897.0	Anticipated	ST-102	901.4	896.2(W)	W.O.	NO
,4	- -	2.0,200	80,110	5,021	10,017	, aou	557.1	550.0	230.0	530.0	537,0	Groundwater		900.0	899.0		
		1				t	t	1					3042	901.8	900.3		\vdash
					i -	-							3043	901.3	900.2		
												1	3044	900.1	899.0		
													3045	698.7	898.7		
11	1	296,172	19,903	7,773	10,047	3,574	907.0	900.0	900.0	900.0	897.0	Anticipated		903.2	896.5(W)	W.O.*	NO
							-	-				Groundwater		900.8	899.8		
	-		-	-		-			-	1	-	1	3046 3047	900.8	900.0	1 COURSE	\vdash
	-			-				-		-	-	+	3048	902.9	900.7		-
	 	1	1	-		-	 	 		1		_	3049	902.7	900.0		
	1												3050	902.4	900.4		
		1											3051	902.9	900.6		
OUTLOT A		16,505															
OUTLOT B		27,554					ļ								-		
OUT	ļ .		_							ļ		-	-	1	1		
OUTLOT C	├	58,312	1		-			-	-	1	+	1	+	+	-	1	\vdash
			1			1				1	1		1	J	ــــــــــــــــــــــــــــــــــــــ		-

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUB

Date: 09/19/2023 License No. 41578

NOTES: * INDICATES DROPPED GARAGE ELEVATIONS BASED UPON 12 COURSE BASEMENT

(W) INDICATES STATIC GROUNDWATER ELEVATION LOW OPENINGS LISTED ARE REFLECTING THE REAR YARD LOW OPENING

DRA	NN BY: MM	D JOB NO: 210452PP DATE: 02/1	5/23
CHEC	K BY: JER	FIELD CREW: DT \ CT	
1	03/17/23	CITY / WATERSHED COMMENTS	MME
2	04/11/23	CITY / WATERSHED COMMENTS	MMC
3	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	MME
		ANTICIPATED GROUNDWATER	
		LOTS 1,5,6,9,10 BLOCK 1	
		L7 B1 & L7 B2 SEPTIC BORINGS	
5		LOTS 4 & 6, BLOCK 1 EASEMENT	MME
NO.	DATE	DESCRIPTION	BY



E.G. RUD & SONS, INC. Professional Land Surveyors 6776 Lake Drive NE, Suite 110 www.egrud.com Lino Lakes, MN 55014 Tel. (651) 361-8200 Fax (651) 361-8701

LIVABILITY CHART

~of~ HIDDEN FOREST EAST 4TH ADDITION ~for~ HFN PROPERTIES, LLC. 17404 WARD LAKE DRIVE NW ANDOVER, MN 55304 (612) 799-1471

Livability Standards

All residential lots shall contain at least 29,500 square feet of land which lies above the
100 year flood contour. Of this 29,500 square feet, the following additional requirements
must be present.

A JSTS Area. Bach lot must contain at least 7,500 square feet of cortiguous area which is reserved for both the ISTS originally constructed and a flutre ISTS. The ISTS Area meet and be contiguous to the Biglish building Area on the Yarr. Area, but the entire ISTS Area must exist at an elevation at least one foot above Insuitable Soils, and must contain Undisturbed Soils or soils which meet the requirements of Rule 7080 of the Minnesota Poliution Control Agency for ISTS construction Standards. The ISTS Area may be irregular in shape, provided they do not encroach into areas reserved by essement or otherwise for roadway, drainage or utility purposes, and provided that all of the area can be reasonably used for ISTS construction without the need for variances.

8. Eligible Building Area Each lot shall contain at least 10,000 square feet of corrispouss land which lies at an elevation at least four feet above Unsuitable Soils. The Eligible Building Area may not be Irregulor in shape, and should be generally rectangular or ovoid, with no panhandles, narrow necks or peninsulas. Eligible Building Areas may not encroach into any rease reserved by easement or otherwise for readway, drainage or utility purposes. Pill may be used to create Eligible Building Area.

C. Yard Area Each lot shall contain at least 12,000 contiguous square feet which:

i) Lies above the 100 year food contour, and
 ii) Lies at least one foot above soils unsuitable for the intended usage of the Yard area, and

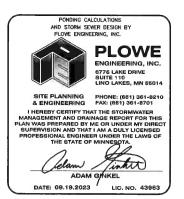
It is a series and took above soils unsuitable for five interence usage or in the series of the seri

D. Building Pad Areas The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.

E. Low Floor Elevations

I) For walkout designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

1) For other designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flooc contour, not less than one foot above unsuitable soils, as determined by the City's engineer.



					T						Anticipated	Low Floor					
Lot	Block				Building Pad Area	Proposed Building Pad	Garage Floor	Proposed Low			Groundwarer	Determining	Boring #		Mottles		Custom
		(sq. ft.)	(sq. ft.)	(sq. fl.)	(sq fl.)	4' Above Unsuitable (sq. ft.)	Elevation	Floor Elev.	Opening	Elevation	Elevation	Factor		Elevation	Elevation	Type	Graded
1	2	271,352	39,434	7,800	10,000	7,410	909.6	902.6	902.6	902.5	898.2	PER	70	903.4	900.9	W.O.*	NO
			****	.,,	,		1		442.0	-	740.2	POND 3-2	71	904.1	901.6	DROP	
												HWL	677	902.4	900.4	1 COURSE	
						11							678	903.4	900.9		
													679	903.6	901.9		
													680	902.4	901.1		
						1							1128	900.7	899.2		
													2025	902.9	900.6		
	_				 					_			2026	899.4			-
													2020		899.4		
													2074	902.1	900.3		
													2075	900.9	899.9		
2	2	464,019	40,511	7,829	10,105	4,307	907.5	900.5	900.5	900.0	897.0	Anticipated	2107	901.9	900.6	W.O.*	NO
												Groundwater	3052	902.7	900.7	DROP	
													3053	901.3	900.3	1 COURSE	
					+								3054	900.5	899.4	1 GOGHGE	-
			_		 												-
													3055	901.8	900.1		
										1			3056	897.2	897.2		
3	2	386,202	60,501	8,658	10,818	7,064	908.2	901.2	901.2	901.2	898.2	Anticipated	89	901.1	899.6	W.O.*	NO
												Groundwater	90	900.6	898.9	DROP	
							1						91	900.9	899.4	1 COURSE	
	_												1114	899.1	898.3	1 GODINGE	_
													1232	900.3	898.6		
											-		1233	900.5	899.3		
													1234	900.1	898.8		
													1235	900.5	899.0		
4	2	146,218	31,785	8,176	10,451	4,571	908.2	901.2	901.2	901.2	898.2	Anticipated	79	901.2	900.0	W.O.*	NO
			2.,,00	2,175	.5,507	-,57.1		221.2		JULIE		Groundwater	80	901.9	900.9	DROP	
-												Gibulkuwater	00				\vdash
													88	902.8		1 COURSE	
													625	901.0	899.5		
													626	900.2	899.2		
										1	1	·	627	902.0	900.8		
								t -					628	902.2	900.9		
								 								-	\vdash
						1	-		-				1115	903.2	899.2		
							1						3004	902.2	900.5		
													3005	901.8	900.5		
5	2	143,510	38,213	8,457	10,343	5,425	908.9	901.2	901.2	901.2	898.2	Anticipated	76	901.3	900.1	W.O.	NO
				,	1 11							Groundwater	77	902.5	900.3		
												Groundwater	78	902.2	901.2		-
			_														
													629	901.1	900.1		
													630	901.4	900.1		
													631	904.7	899.2		
													632	902.2	900.7		1
										-			1116	903.8	901.0		\vdash
	-	440.000	20 770	0.004	40.000	F 400	200.0		001.0	0010	0000					141.0	110
6	2	148,302	28,778	8,901	10,022	5,188	908.9	901.2	901.2	901.2	898.2	Anticipated	75	900.9	899.9	W.O.	NO.
												Groundwater	633	907.2	NONE		
								1					634	904.8	900.0		
													635	901.1	900.0		
													636	901.3	900.3		
								1					1117	902.3	901.0		
					+		_	-									-
													3006	901.4	900.1		
7	2	59,452	33,529	8,117	10,340	5,801	909.2	902.2	902.2	902.2	898.2	PER	74	901.8	900.6	W.O.*	NO
												POND 3-3	637	905.0	900.7	DROP	
												HWL	638	903,6	901.4	1 COURSE	
									-	-			639	903.8	900.8		
*					†		 	+					640	901.2	900.2		-
					+					-					900.2		\vdash
													1118	906.1	901.5		
													3063	902.9	901.2		1 1
													3064	905.9	901.1		
													3065	903.6	901.1		
													3066	903.2	901.5		
8	2	73,788	19,431	8,230	10,442	6,039	909.2	902.2	902:2	902.2	898.2	PER	86	902.3	900.8	W.O.*	NO
-		. 5,700	10,70	21200	· · · · · · · · · · · · · · · · · · ·	0,000	000.E		UVE,E	UJE.E	570.2						1,10
	-				+	-						POND 3-3	87	901.3	899.5	DROP	\vdash
											_	HWL	641	901.1	899.6	1 COURSE	
													642	903.1	899.6		
													643	904.8	900.3		
										1			644	900.8	899.8		
										1			1119	903,7	898.8		
1	3	205,616	45,520	8,041	10,000	5,944	907.0	899.3	899.3	899.3	896.2	PER	85	901.6	899.8	W.O.	NO
		200,010	10,020	9,011	10,000	0,011	307.0	990.5	000.0	000.0	000.2					W.O.	140
			-		+	-				_		WETLAND3	943	900.7	899.4	_	-
							ļ			. 		HWL	944	902.1	900.4		
							-						945	904.0	899.8		
													946	901.3	899.6		
													1205	900.4	898.7		
						1	I		t	t			3000	901,4	899.6	 	1
					+		-	+	-	-	-						\vdash
								L			<u> </u>	L	3001	903.9	899.9		
2	3	345,942	50,504	7,978	11,065	4,847	906.9	899.2	899.2	899.2	896.2	Anticipated	82	902.2	900.7	W.O.	NO
												Groundwater	83	902.3	901.3		
										1	1		84	903.2	900.5		\vdash
			1				1	l	l	†	1		939	902.1	899.9		-
	-			-	+		1									_	
					+	-		-			-	-	940	899,5	898.0	-	\vdash
										1			941	900.4	898.9		
										1			942	901.8	900.3		
												· · · ·	943	900.7	899,4		
													1206	900.3	899.5		\vdash
								_									\vdash
		4 000 707	05.004	0.010	44.555	N	05	007.7	86- 0	nr	000		3002	902.0	900.3		
3	3	1,038,763	35,991	8,217	11,065	7,384	906.9	899.2	899.2	899.2	896.2	Anticipated	81	901.3	899.0	W.O.	NO
												Groundwater	935	900.8	899.1		
												/ POND 1	936	901.4	899.7		
												HWL	937	902.9	901.2		
					1	t	-						938	900.1	899.1		\vdash
					1	t	1	1									\vdash
			-			1				-			1207	899.4	897.1		\vdash
							1	J.					3003	901.0	899.5		لــــــــــــــــــــــــــــــــــــــ

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUB

Date: 09/19/2023 License No. 41578

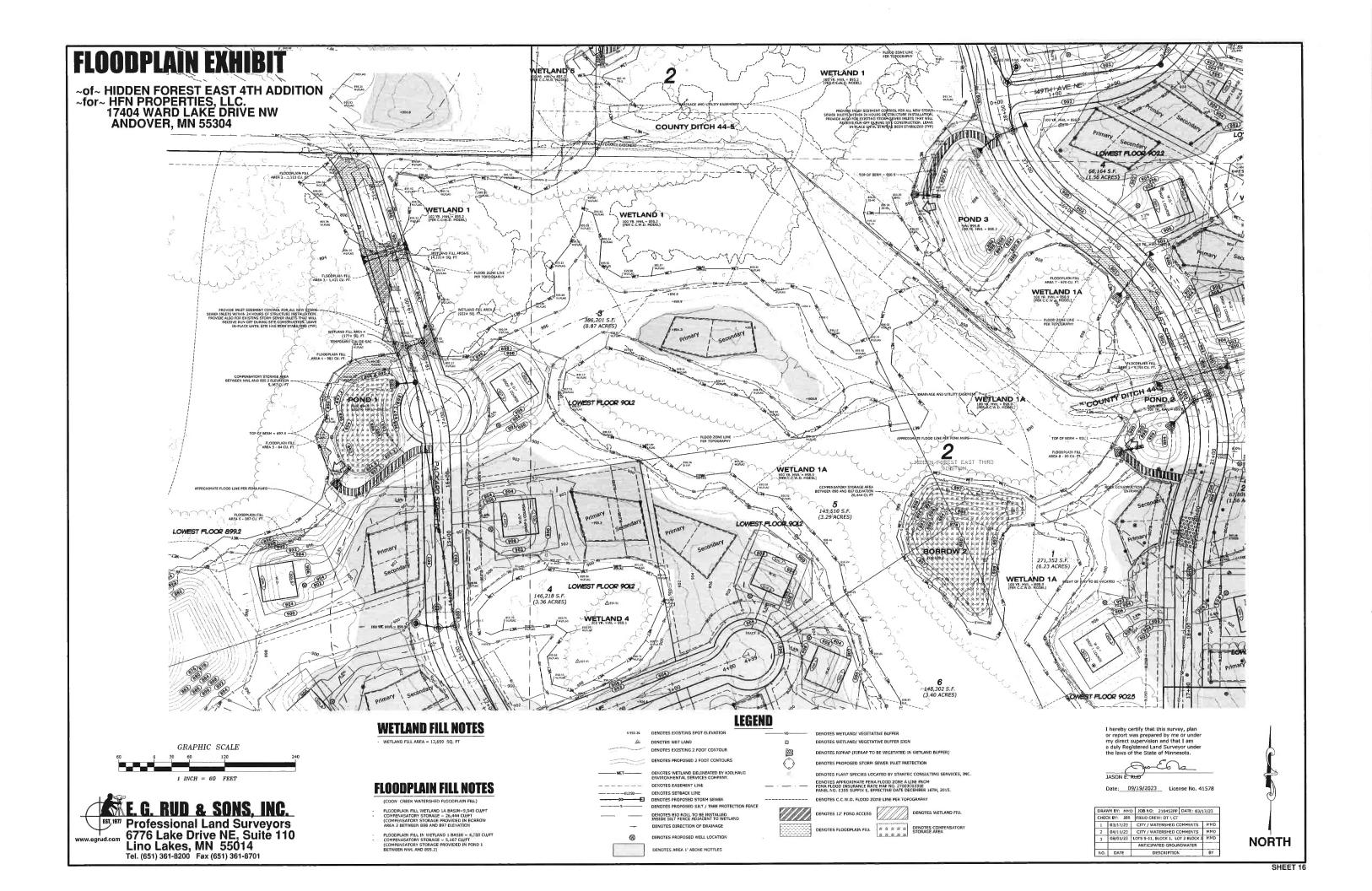
NOTES: * INDICATES DROPPED GARAGE ELEVATIONS BASED UPON 12 COURSE BASEMENT

(W) INDICATES STATIC GROUNDWATER ELEVATION LOW OPENINGS LISTED ARE REFLECTING THE REAR YARD LOW OPENING

NO.	DATE	DESCRIPTION	BY
		L7 B1 & L7 B2 SEPTIC BORINGS	
		LOTS 1,5,6,9,10 BLOCK 1	
		ANTICIPATED GROUNDWATER	
3	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	MME
2	04/11/23	CITY / WATERSHED COMMENTS	MME
1	03/17/23	CITY / WATERSHED COMMENTS	MME
CHEC	K BY: JER	FIELD CREW: DT \ CT	
DRAY	NN BY: MM	JOB NO: 210452PP DATE: 02/1	5/23



E.G. RUD & SONS, INC. Professional Land Surveyors www.egrud.com 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014 Tel. (651) 361-8200 Fax (651) 361-8701





MEMORANDUM

TO:

MAYOR AND COUNCILMEMBERS

FROM:

JOSEPH MURPHY, CITY ATTORNEY

SUBJECT:

PARKLAND - HIDDEN FOREST EAST

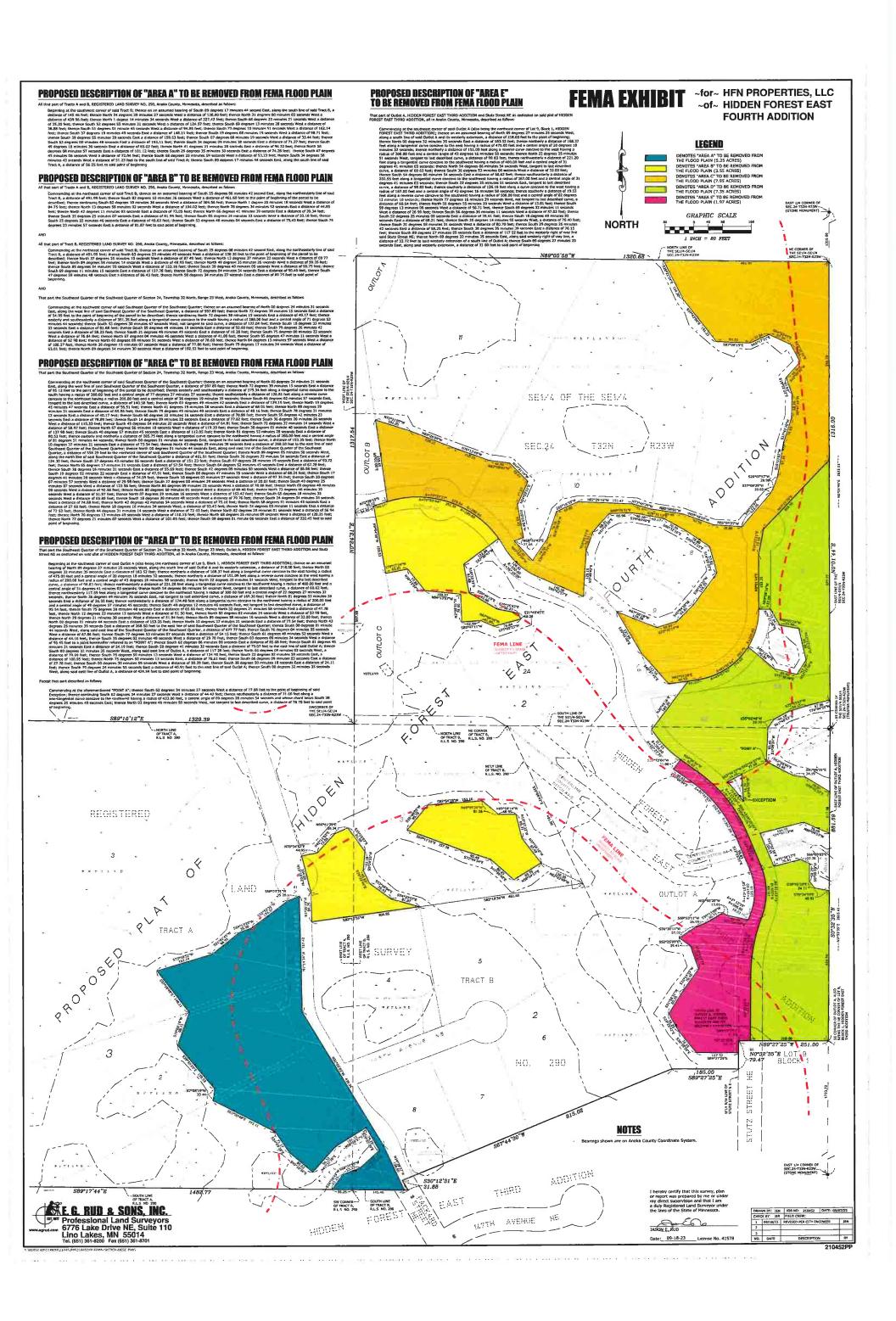
DATE:

DECEMBER 6, 2021

The City and Developer, HFN Properties (Jeff Stalberger) recently finalized two Development Agreements for two phases of the Hidden Forest Development and the Developer will soon be filing the mylars of those plats. As part of the plat for Hidden Forest East Park Addition, Developer is dedicating to the City as parkland 16.48 acres of upland and 10.65 acres of wetland. Under the current policy outlined in the City Code, developers should create one acre of public park or trail space for every ten acres of residential land (10%) or pay an equivalent parkland dedication fee for the City's acquisition of future parkland. Taking into account and crediting Developer for the recently approved Hidden Forest East 3rd Addition (56.67 acres), Hidden Forest East Park Addition (11.57 acres), and the anticipated future phase Hidden Forest East 4th Addition (9.57 acres), the land dedicated in this plat still exceeds the 10% minimum parkland dedication. As part of the first two phases, Hidden Forest East and Hidden Forest East 2nd Addition, the city previously collected \$118,429.40 in Parkland Dedication Fees from Developer. Therefore, as part of Hidden Forest East Park Addition Development Agreement, it is proposed that the City pay Developer \$118,429.40 from these dedicated Parkland funds to acquire or purchase the additional parkland dedicated in the plat that exceeds the 10% of upland parkland dedication required by the City Code.

This process was discussed with Mr. Stalberger and approved by a consensus of the council at the October 19, 2020, City Council meeting.

I would recommend approval of the payment of \$118,429.40 from the Park and Beach Fund.



HIDDEN FOREST EAST FOURTH ADDITION

GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING
 TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED
 TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS
 RESPONSIBLE FOR MAKING HIS OWN THE CONTRACTOR TO TYPE
 AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE
- 2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY
- EXCAVATIONS.

 THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
- 4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- 6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A IUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF
- MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

 7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- (a) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
- (S) HOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SANDIGRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HOPE/PVC PIPE IN ACCORDANCE WITH THE PROPERTY OF TH
- 3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS
- DU NO! BACHELL CATON BASINS UNITE PARRIC WRAP IS INSPECTED BY CITY.
 TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
 PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE

- 5. PROVIDE CLASS III RIP-RAP W FILTER FABRIC AT ALL PIPE OUTLETS.
 6. TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES ELSS THAN 48" IN DIAMETER.
 7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
 8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
 9. SEE SHEET C2.1 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

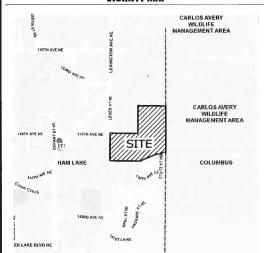
- 1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.

 2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT
- RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

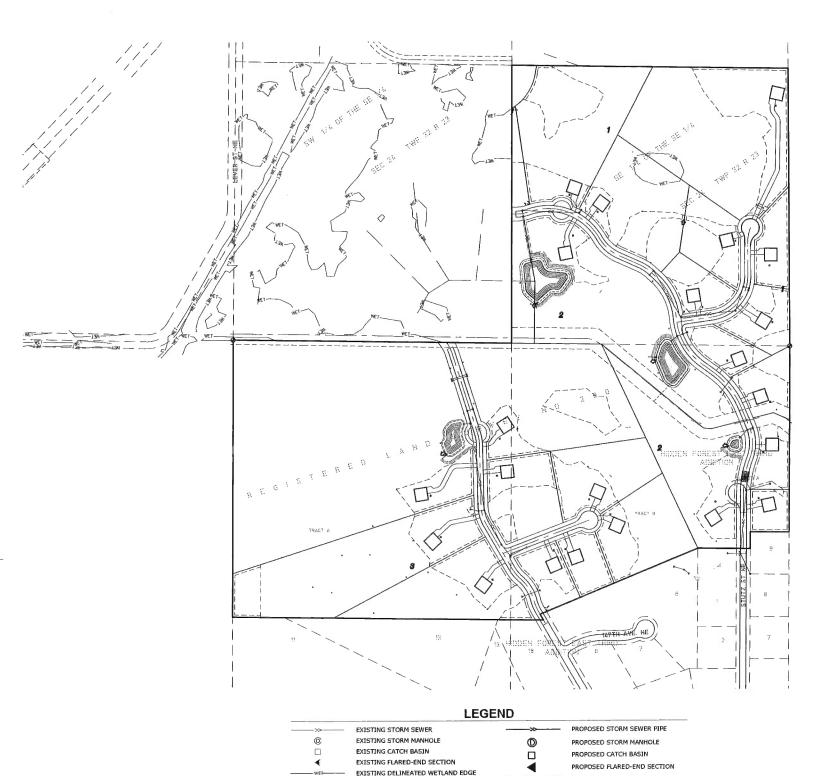
MISCELLANEOUS NOTES

AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

VICINITY MAP



TITLE SHEET, NOTES & LEGEND HAM LAKE, MINNESOTA



WETLAND BUFFER

WETLAND BUFFER SIGNAGE

PROPOSED SPOT ELEVATION (GUTTERLINE)

(899.50)×

OWNER & DEVELOPER

HFN PROPERTIES, LLC 17404 WARD LAKE DR NW ANDOVER, MN 55304 (612) 799-1471

ENGINEER

PLOWE ENGINEERING, INC. 6776 LAKE DR STE 110 651-361-8210

SURVEYOR

EG RUDS LAND SURVEYING, INC. 6776 LAKE DR STE 110

SHEET INDEX

TITLE SHEET, NOTES & LEGEND PRELIMINARY PLAT SHEETS 1-3 GRADING, DRAINAGE & ESC PLAN LIVABILITY PLAN C1.1 - C1.2 UTILITY PLAN C2.1 - C2.3 DETAILS C3.1 - C3.2 STORMWATER POLLUTION PREVENTION PLAN (SWPPP)



PLOWE

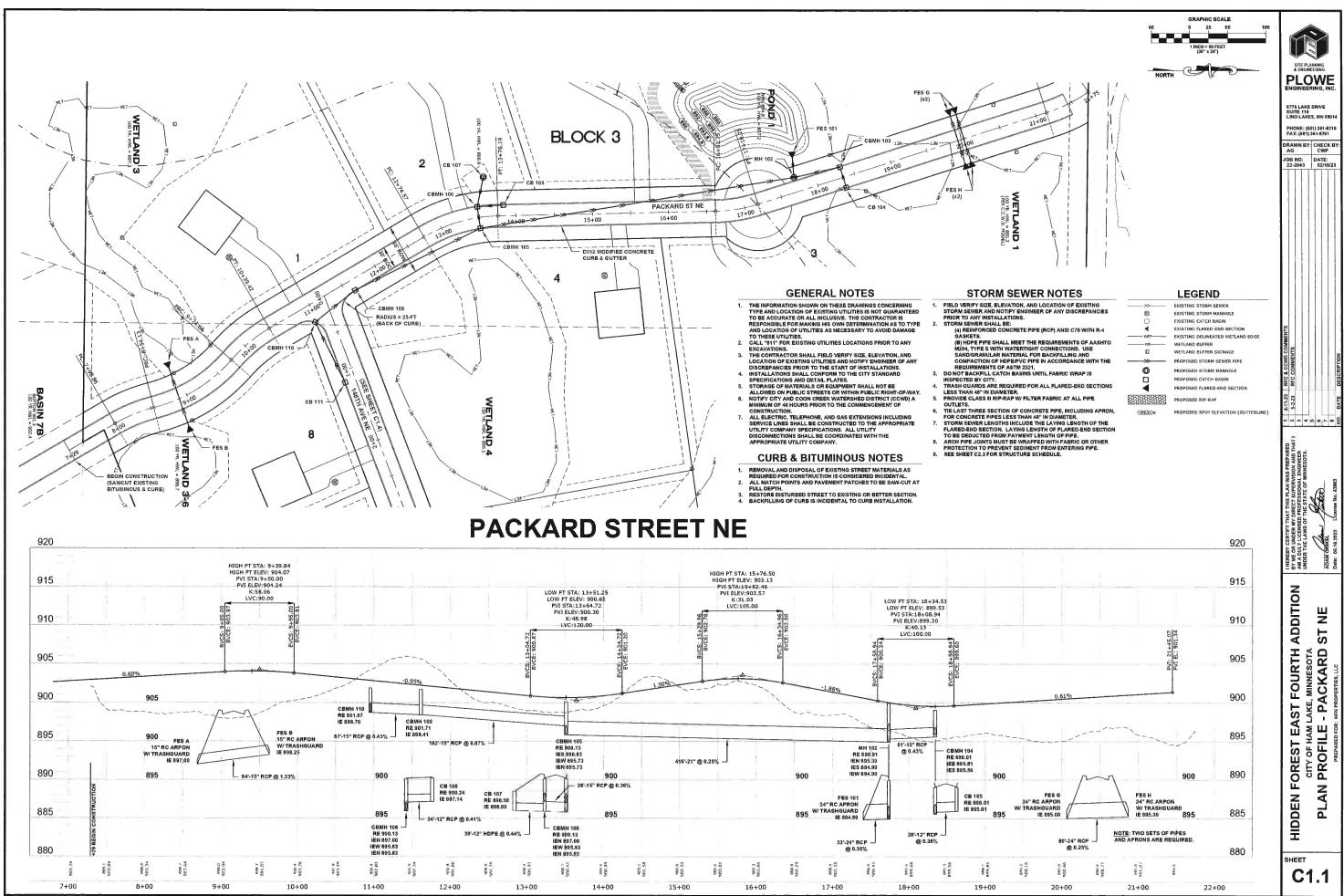
6776 LAKE DRIVE SUITE 110 LING LAKES, MN 550

RAWN BY: CHECK B AG CWP

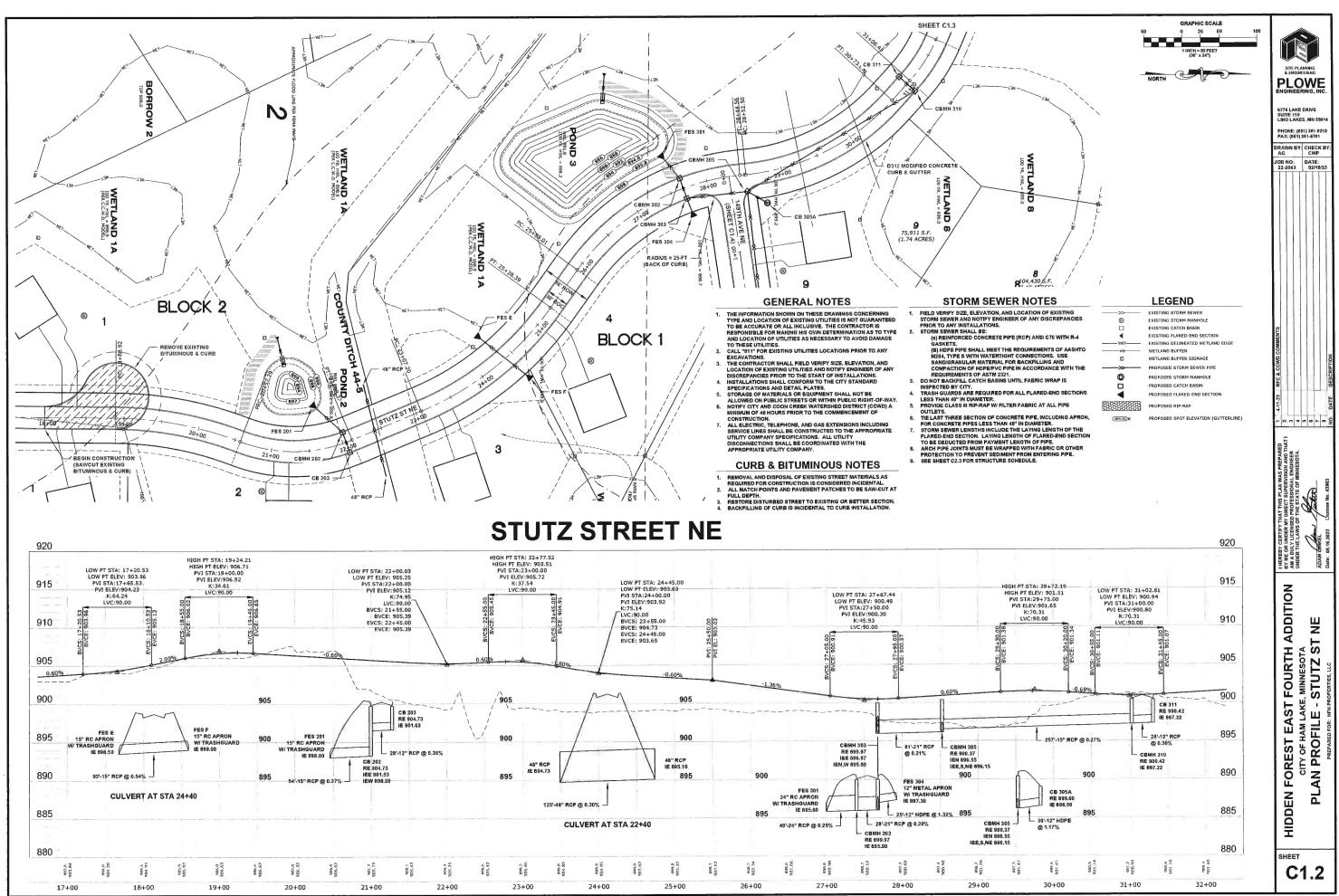
FOURTH ADDITION ું જ LAKE, MINNE NOTES

OREST EAST F CITY OF HAM LAKE, I SHEETS, NOT FOREST TITLE HIDDEN

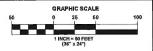
SHEET **T1**



22-204

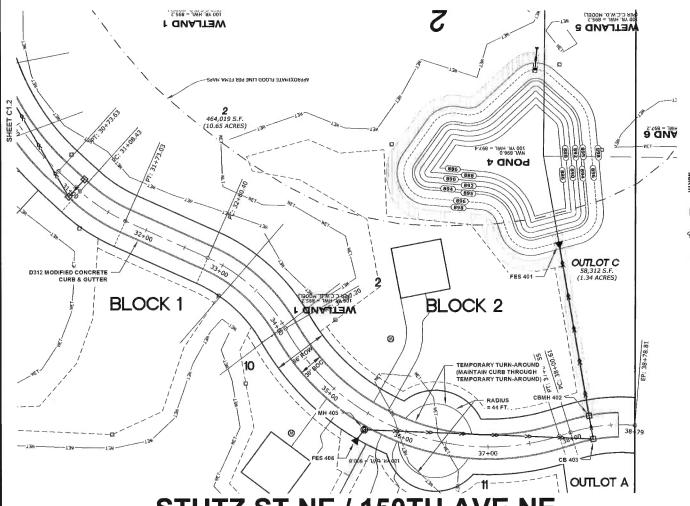






PLOWE

6776 LAKE DRIVE SUITE 110 LING LAKES, MN 550 PHONE: (651) 361-821 FAX: (661) 361-8701 DRAWN BY: CHECK BY AG CWP JOB NO: DATE: 22-2043 02/16/2



STUTZ ST NE / 150TH AVE NE 920 920 HIGH PT STA: 35+69.65 HIGH PT ELEV: 904.10 PVI STA:35+75.00 LOW PT STA: 33+55.00 -LOW PT ELEV: 902.33 PVI STA:34+00.00 PVI ELEV:902.60 K:225.00 LVC:90.00 915 915 LOW PT STA: 38+26.12 PVI ELEV:904.35 LOW PT STA: 38+25.12 LOW PT ELEV: 901.55 PVI STA:38+10.00 PVI ELEV:901.37 K:48.13 LVC:90.00 K:39.65 LVC:90.00 910 910 905 905 MH 405 RE 904.04 IEN 899.20 IES 899.04 900 900 - 19'-12" HDPE @ 0.53% _ 273'-15" RCP @ 0.47% 895 895 RE 901.03 IE 897.76 890 890 900 FES 401 15" RC APRON W/ TRASHGUARD IE 896.00 885 885 RE 901.03 IEN 897.63 IES 897.00 880 880 901.40 897.0 902.00 698.7 907.64 903.10 900.4 900.R 904.05 903.40 902.76 902.3 902.0 901.62 901.6 808 896. 38+00 39+00 32+00 33+00 34+00 35+00 36+00 37+00

GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE
- AND LOCATION OF UTILITIES AS RECESSARY TO AVOID DAMAGE TO THE SE UTILITIES.

 C. CALL "GIT" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

 THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO TO THE STATT OF INSTALLATIONS.

 INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

 STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

 NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOUSE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

 ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING

- CONSTRUCTION.
 ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING
 SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE
 UTILITY COMPANY SPECIFICATIONS. ALL UTILITY
 DISCONNECTIONS SHALL BE COORDINATED WITH THE
 APPROPRIATE UTILITY COMPANY.

CURB & BITUMINOUS NOTES

- REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
 ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
 RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
 BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

STORM SEWER NOTES

- 1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

 2. STORM SEWER SHALL BE:

 (a) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 OASKETS.

 (b) HOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SANDIGRANULAR MATERIAL FOR BACKFILING AND COMPACTION OF HOPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.

 3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
- INSPECTED BY CITY.
 TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS
- LESS THAN 48" IN DIAMETER. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE
- 5. PROVIDE CLASS II RIP-RAP W/ FILTER PARKIC ALADAGE.

 OUTLETS.

 6. TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 49" IN DIAMETER.

 7. STORN SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED PROM PAYMENT LENGTH OF PIPE.

 ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.

 9. SEE SHEET C2.3 FOR STRUCTURE SCHEDULE.

LEGEND

- EXISTING STORM SEWER EXISTING STORM MANHOLE
 - EXISTING FLARED-END SECTION EXISTING DELINEATED WETLAND EDGE WETLAND BUFFER WETLAND BUFFER SIGNAGE PROPOSED STORM SEWER PIPE
 - 0 PROPOSED CATCH BASIN
 - (899.50)X

PROPOSED STORM MANHOLE PROPOSED FLARED-END SECTION PROPOSED RIP-RAP

PROPOSED SPOT ELEVATION (GUTTERLINE)

EAST FOURTH ADDITION
AM LAKE, MINNESOTA
STUTZ ST & 150TH AVE HIDDEN FOREST E CITY OF HAN PLAN PROFILE - S

SHEET

C1.3

GENERAL NOTES THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAI TO THESE UTILITIES. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY CALL "911" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTFY EMBINEES OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY. NOTBY CITY AND COON CREEK WATERSHED DISTRICT (CCVID) A MINIMUM OF 48 HOURS FROOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING

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STORM SEWER NOTES

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(B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO

(B) HOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO
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SANDIGRANULAR MATERIAL FOR BACKFILLING AND
COMPACTION OF HOPEIPVC PIPE IN ACCORDANCE WITH THE
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3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS
INSPECTED BY CITY.

4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS
LESS THAN 46" IN DIAMETER.

5. PROVIDE CLASS III RIP-RAP WI FILTER FABRIC AT ALL PIPE
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6. TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON,
FOR CONCRETE PIPES LESS THAN 46" IN DIAMETER.

7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE
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FLARED-END SECTION. LAYING LENGTH OF PRECEDING
TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

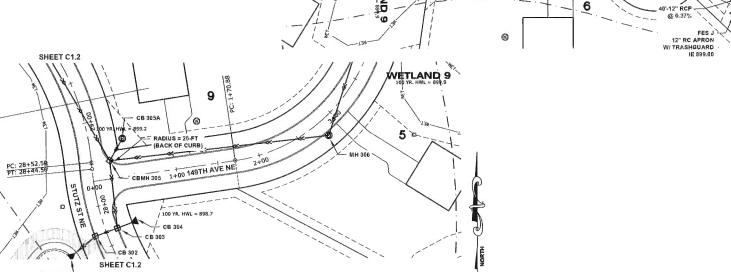
ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER
PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.

9. SEE SHEET C.3 FOR STRUCTURE SCHEDULE.

LEGEND EXISTING STORM SEWER EXISTING STORM MANHOLE

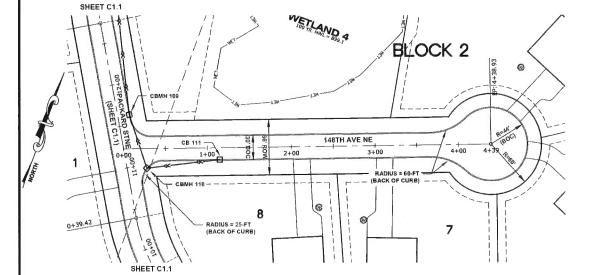
EXISTING CATCH BASIN EXISTING FLARED-END SECTION **EXISTING DELINEATED WETLAND EDGE** WETLAND BUFFER WETLAND BUFFER SIGNAGE PROPOSED STORM SEWER PIPE

PROPOSED STORM MANHOLE PROPOSED CATCH BASIN PROPOSED FLARED-END SECTION

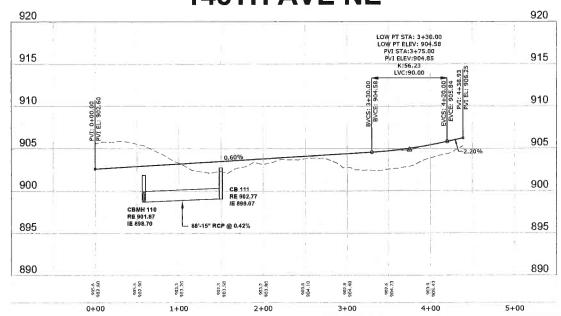


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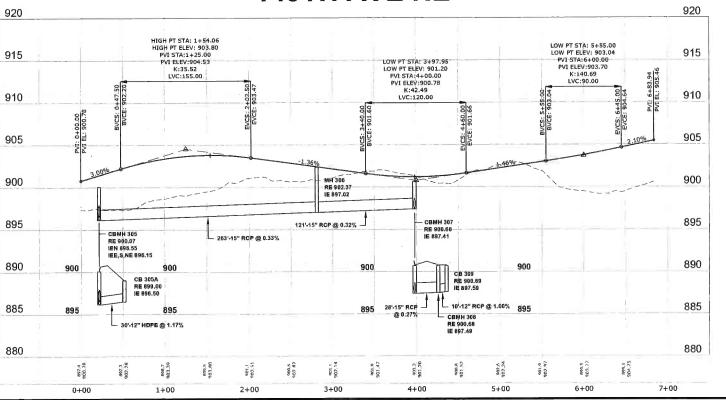




148TH AVE NE







GRAPHIC SCALE

12" RC APRO

149TH AVE NE 5+00

IE 898.85

PLOWE

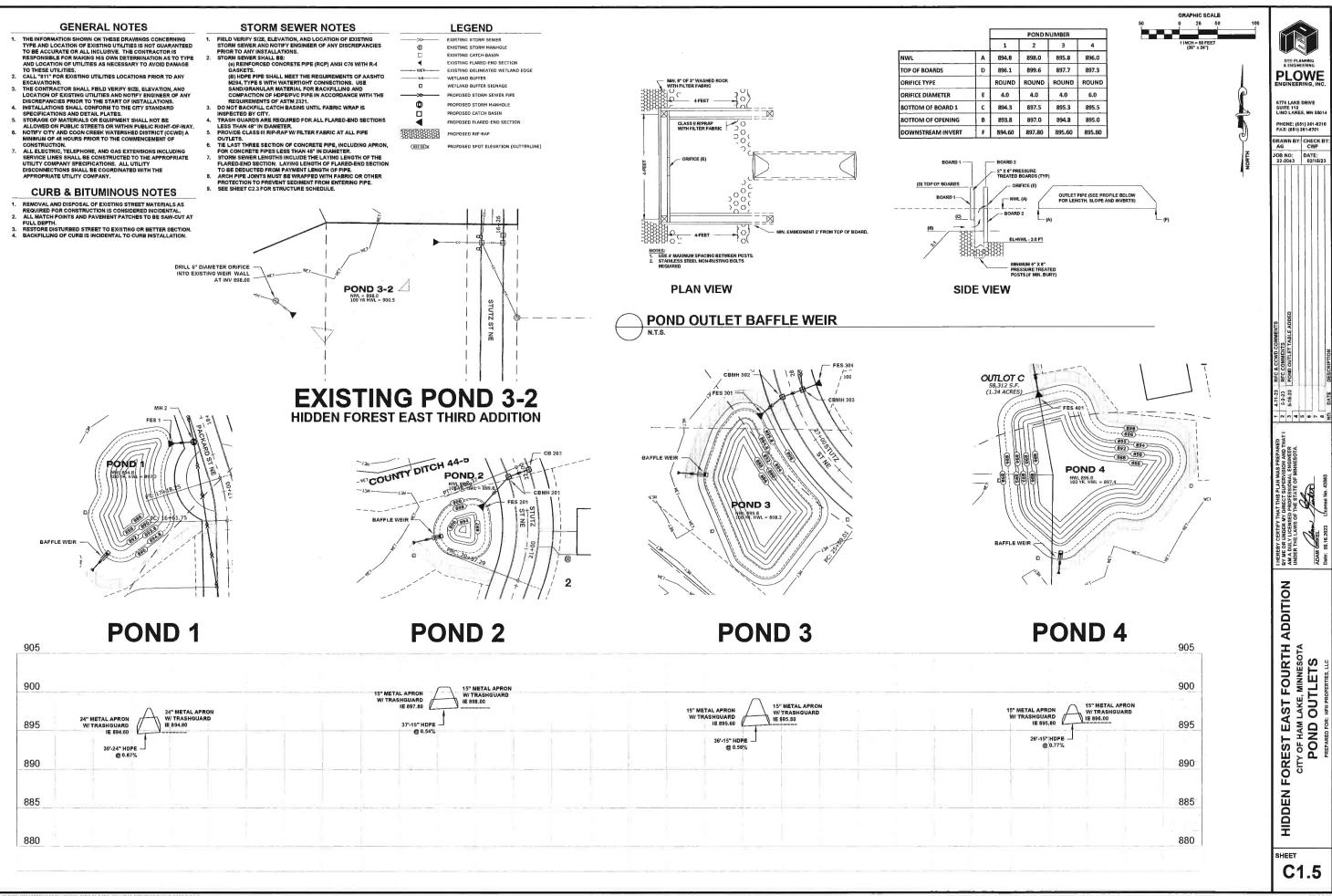
6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 8501

PHONE: (651) 361-8210 FAX: (651) 361-8701

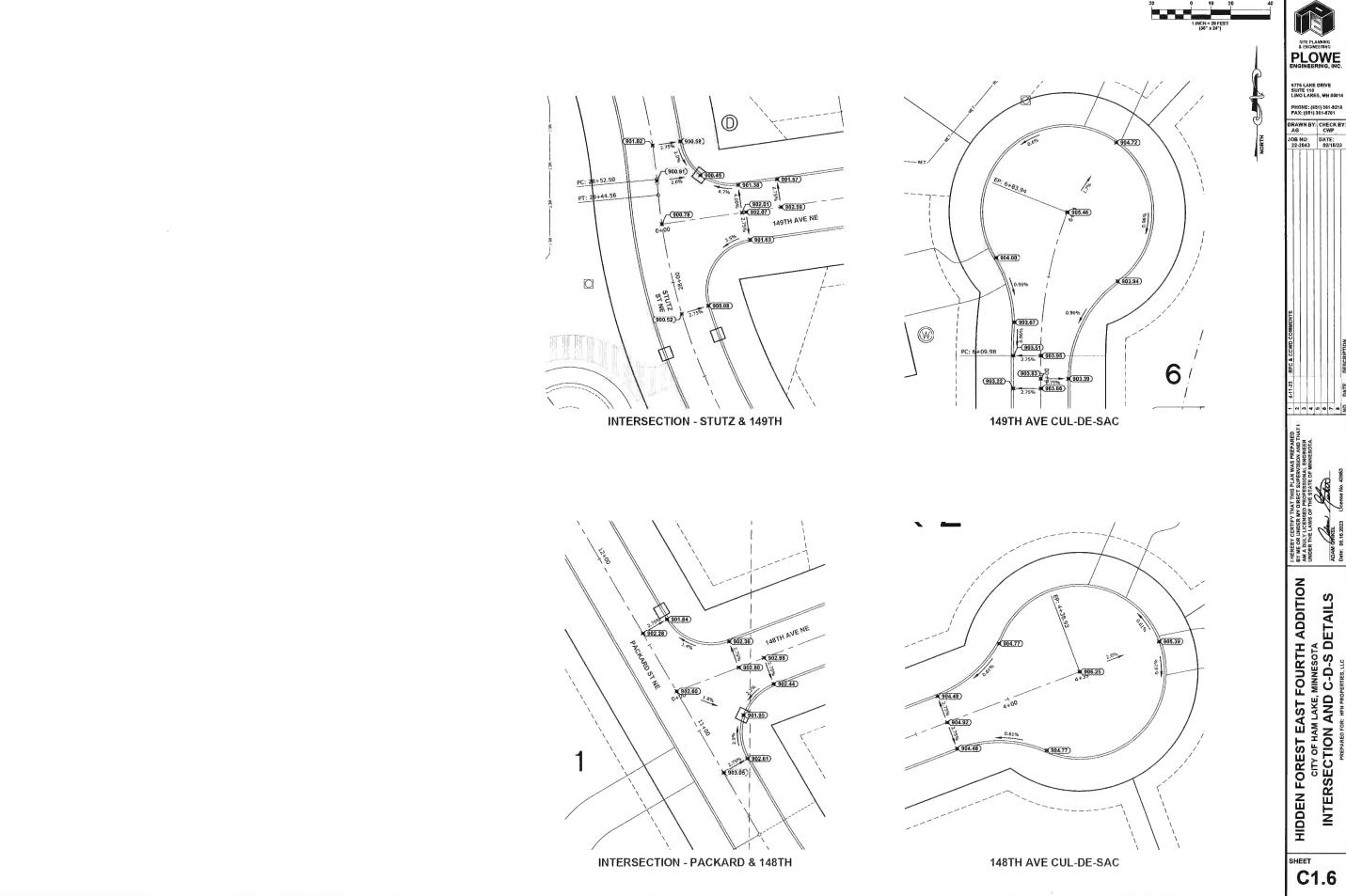
DRAWN BY: CHECK BY AG CWP JOB NO: DATE: 22-2043 02/16/23

ADDITION 빌 AVE 149TH HIDDEN FOREST EAST FOURTH - 148TH & CITY OF H

PLAN SHEET

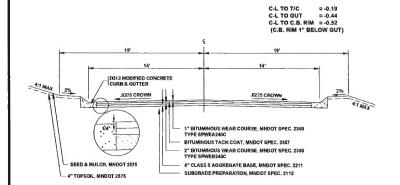


22-204

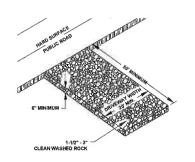


SITE PLANNING & ENGINEERING PLOWE ENGINEERING INC

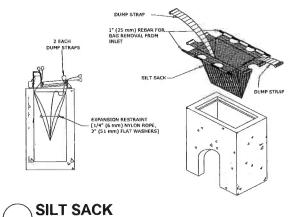
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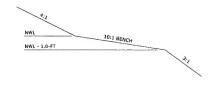


TYPICAL STREET SECTION (7-TON)

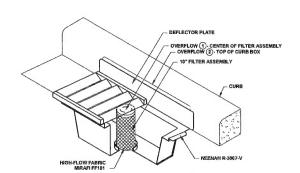


ROCK CONSTRUCTION EXIT

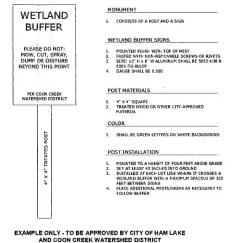




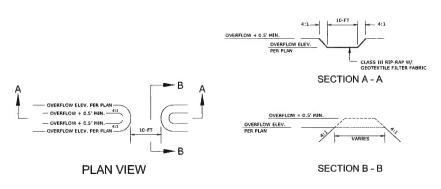
TYPICAL POND SECTION



WIMCO INLET PROTECTION



WETLAND BUFFER SIGNAGE



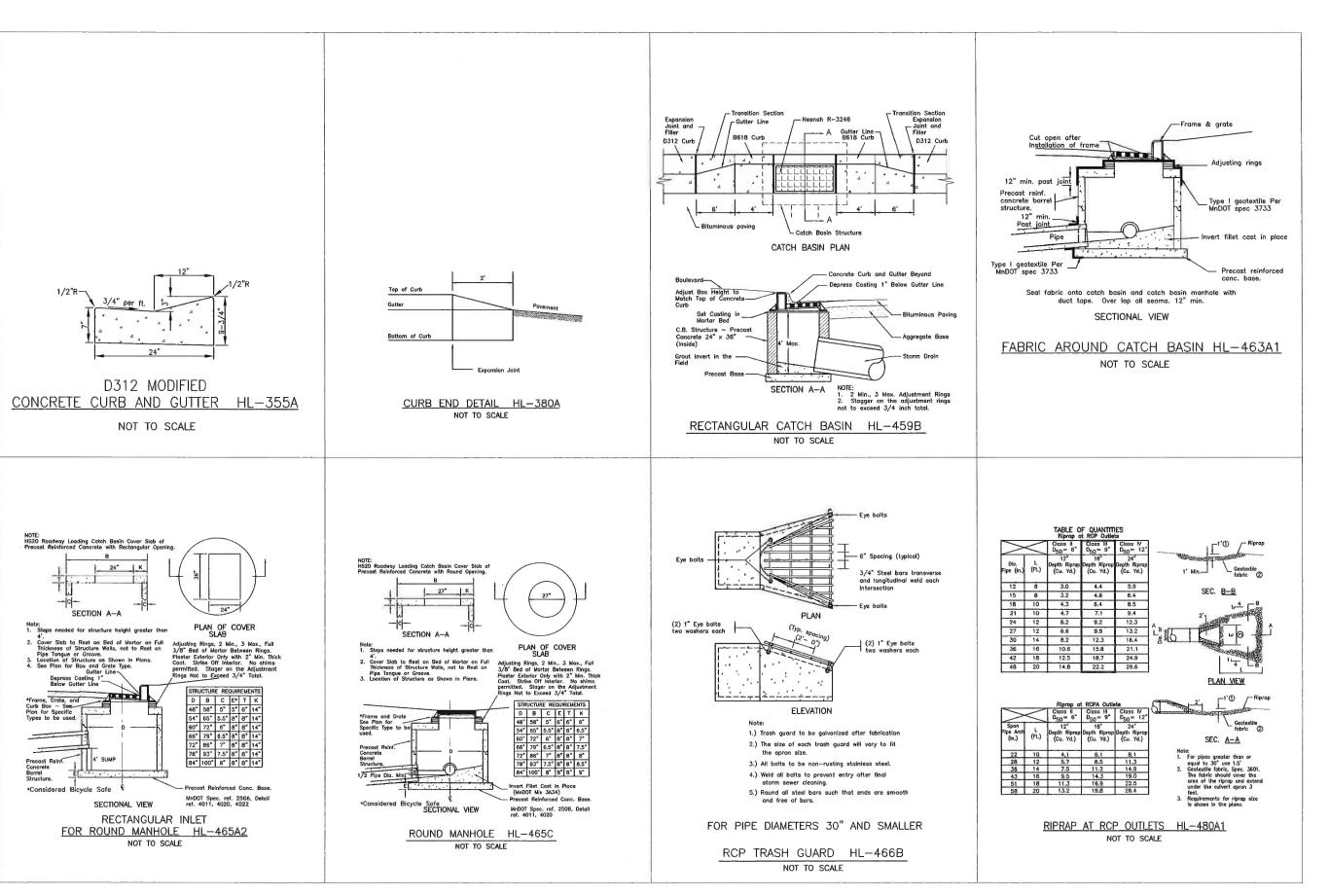
RIP-RAP OVERFLOWS

#	SIZE	CASTING	#	SIZE	CASTING
102	48" DIA.	NEENAH R-1733	305	60" DIA.	NEENAH R-3246-C
103	48" DIA.	NEENAH R-3246-C	305A	MNDOT TYPE G	NEENAH R-2577
104	2' x 3'	NEENAH R-3246-C	306	48" DIA.	NEENAH R-1733
105	48" DIA.	NEENAH R-3246-C	307	48" DIA.	NEENAH R-3246-C
106	48" DIA.	NEENAH R-3246-C	308	48" DIA.	NEENAH R-3246-C
107	MNDOT TYPE G	NEENAH R-2577	309	2' x 3'	NEENAH R-3246-C
108	2' x 3'	NEENAH R-3246-C	310	48" DIA.	NEENAH R-3246-C
109	48" DIA.	NEENAH R-3246-C	311	2' x 3'	NEENAH R-3246-C
110	48" DIA.	NEENAH R-3246-C			
111	2' x 3'	NEENAH R-3246-C	402	48" DIA.	NEENAH R-3246-C
			403	48" DIA.	NEENAH R-3246-C
202	48" DIA.	NEENAH R-3246-C	405	48" DIA.	NEENAH R-1733
203	2' x 3'	NEENAH R-3246-C			
302	48" DIA.	NEENAH R-3246-C			
303	48" DIA.	NEENAH R-3246-C			

PLOWE 6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 550 PHONE: (651) 361-8216 FAX: (651) 361-8701 DRAWN BY: CHECK BY: AG CWP JOB NO: DATE: 22-2043 02/16/23

HIDDEN FOREST EAST FOURTH ADDITION CITY OF HAM LAKE, MINNESOTA DETAILS

SHEET C2.1



PLOWE

6776 LAKE DRIVE SUITE 110 LING LAKES, MN 550

PHONE: (651) 361-8211 FAX: (651) 361-8701

DRAWN BY: CHECK BY AG CWP JOB NO: DATE: 22-2043 02/16/23

I HEREBY CERTIFY I BY ME OR UNDER M AM A DULY LICENSI UNDER THE LAWS O

HIDDEN FOREST EAST FOURTH ADDITION
CITY OF HAM LAKE, MINNESOTA
DETAILS

SHEET

C2.2

GENERAL NOTES

- GENERAL NOTES

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 TO THESE UTILITIES.

 2. CALL "611" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY
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 6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A
 MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF
 CONSTRUCTION.

- MINIMOW UP AS HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

 ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

- 1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
 2. STORM SEWER SHALL BE:

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 (B) HOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SANDIGRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HOPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 231.

 3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
- INSPECTED BY CITY.

 TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.

 PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE

- PROVIDE CLASS III RIP-RAP WY ILLIEN FABRIC AT ALLETING OUTLETS.

 THE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.

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 9. SER SHEET C2.1 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

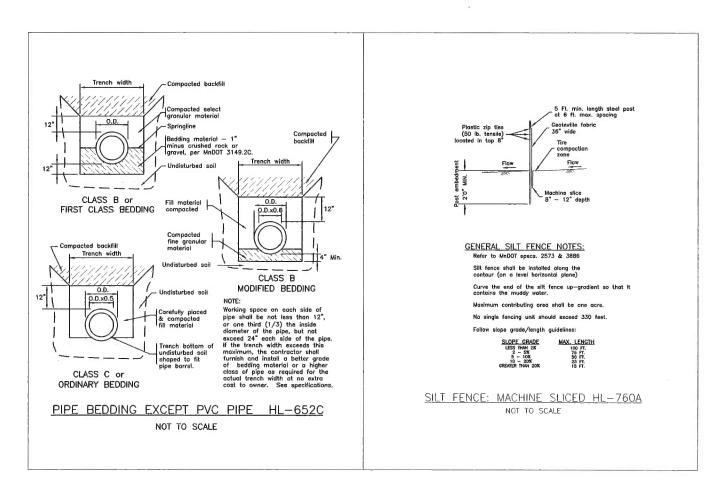
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- FULL DEPTH.

 3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.

 4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

MISCELLANEOUS NOTES

SEPTIC AND WELL DESIGN BY OTHERS.
 SITE TOPOGRAPHY PROVIDED BY OTHERS.





PHONE: (651) 361-821 FAX: (651) 361-8701 DRAWN BY: CHECK B JOB NO: DATE: 02/15/23

I HEREBY C BY ME OR I AM A DULY UNDER THE

FOREST EAST FOURTH ADDITION CITY OF HAM LAKE, MINNESOTA DETAILS

HIDDEN

SHEET

C2.3

COMPLETE, (MINN. N. 1999)

A 3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES COVERAGE UNDER THIS PERMITERS TO THE SUBMISSION DATE OF THE NOT, (MINN. R. 1998).

4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET

- A. CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS: AND
- B. AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND
- C. ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

D. THE SITE COMPLIES WITH TIEM 13.3. THROUGH 13.7.

AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT OF THE REMAINING COMMON PLAN OF EVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE CRESS IN

4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELED THE PROJECT MINN. R. 78901

6.1 SYMPPP AMENDMENTS. [MINN. R. 7080]
6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE
ALL SYMPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION
DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. [MINN. R. 7080]

6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS (DENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINH. R. 7090]

1.0 SUNTAUE WATERS OR GROUNDWATER. [MINN. R. 7890]

8.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OPTICALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATERS OLD ESTIMATOR STATE OF THE DISCHARGES ARE CAUSING WATER CHARTLY SYMANDAR OXCEDIANCES (E., NUSANCE CONDITIONS AS DESTINED IN MIN. R. 7850.2210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL. [MINN. R. 7650.2210]

7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPS IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES, IMINN. R. 7090)

8.1 EROSION PREVENTION PRACTICES, [MINN, R. 7090]

8.1 ENCISION PREVENTING PROGUEDS, MINNING, ZUBY 8.2 BEFORE WORK BEGINS, FERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R. 7090] 8.3 PERMITTEES MUST MINIMULE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (C.G., SLOPE ORGAINING AND TERRACING), MINNIN, R. 7090]

DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING), (MINN. R. 7090)

AR PERMITTES MUST STABILIZE ALL EXPÓSED SOIL, AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORABRILY CEASED ON ANY PORTION OF THE SITE AND WILL, NOT RESUME FOR A PERIOD EXCEEDING 7 CALEDIDAR DAYS TABILIZATION MIST BE COMPLETED NO LATTER THAN Y CALEDDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROOMS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATES STOCKPILES, DEMOLITION CONCERTS STOCKPILES, DEMOLITION CONCERTS STOCKPILES, DEMOLITION CONCERTS TOCKPILES, DEMOLITION CONCERTS STOCKPILES, DESIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATES STOCKPILES, DEMOLITION CONCERTS SCHOOL STOCKPILES) BUT PERMITTESS MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE, MINN. R. 7090)

S. FOR PUBLIC WATERS THAT THE MINNESOTA DIVINES THAN SPROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPANWAING TIME FRAMES, PERMITTES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. IMMN. R. 7080.

INMINENT, CUUJ 8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PERMANENT DITCHES OR SWALES WITHIN 7 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY FEED AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORABILY OR PERMANENTLY CLESSES, IMMIN. R.

STEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAIN SYSTEM CEASES, IMININ. R. 7080

SYSTEM CEASES, [MINN. K. 799]

AS PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR ERGSION PREVENTION
PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERMITTER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH
OR SYALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THALP PERCENT, [MINN. R. 709] 8.9 PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. IMINN. R, 7090)

8.10 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11 IMINN R 70901

9.1 SEDIMENT CONTROL PRACTICES, [MINN. R. 7090]

12 PERMITTES MUST ESTABLISH SEDIMENT CONTROL BMPS ON ALL DOWNGRADIENT PERMITTERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER 3'S TEMS PERMITTES MUST LOCATE SCIONMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONDS. PERMITTERS WIST INSTALL SEDMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN AND MUST IT THE SEDMENT CONTROL PRACTICES IN PLACE WITH. THEY SETABLISH PERMANDENT COVER, MIRIN. R. 7980]

3. JF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FALUER OF EXCESSIVE MAINTENANCE REQUIRED THE THE THE TOTAL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRAREDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRAREQUIRED IN ITEM 5.3, IMMN. R. 7030]

REQUIRED IN 116M 9.3, (994M, N. 7090)

9.4 TEMPORANY OR PERMANHENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS, (MINN. R. 7090)

APPROPRIATE FOR SITE CONDITIONS, (MINN. N. 799)

9.5 A FLOATING SIT. CURTAIN FLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALL AN IOLAND FERMITEES MUST INSTALL AN UPLAND PERMITERER CONTROL PRACTICE IT EXPOSED SOILS SITU. DRAIN TO A SURFACE WATER, IMMIN. R. 7890

9.6 PERMITTES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOM-BHORT-TERM ACTIVITES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER SHORT-TERM ACTIVITY IS COMPLETED, PERMITTES BIUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFC PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE, IMMIN. R. 7080] 9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. IMMAN. R. 70501

PET INSIGNAT PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET & SPECIFIC SAFETY CONCERN (E.G. STREET FLOCOMOFREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G. CITYLOCUSTYOWNSHIPMINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP, (MINN. R. 7080)

9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERMITTER, IMMN. R. 7090J

9-10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER (MINNE, 7:090).

9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BIMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE, IMINN, R. 70801

9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET, IMINN. R. 70901

9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]

9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION, IMMN. R. 7089]
9.16 FERMITTES MUST PRESENVE TOPSOIL ON THE SITE, UNLESS IN FEASIBLE, IMMN. R. 7089]

9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPS TO VEGETATED AREAS UNLESS INFEASIBLE, (MINN. R. 7090) 9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BIMPS TO VEGETATED AREAS UNLESS INFEASIBLE, (IMINN. R. 7090)
9.17 PERMITTEES MUST PRESERVE AS 6 POOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE
REDUNDANT (DOUBLE) PERIMETER SEDMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE
PROJECTS EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SUBFACE WATER PERIMITTEES MUST INSTALL
PERIMETER SEDIMENT CONTROLS AT LEAST 6 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL
BUFFERS ARE NOT REQUIRED DAJACENT TO ROAD DITCHES, JUDICAL DITCHES, COUNTY DITCHES, STORMWATER
CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS, IF PRESERVING THE BUFFER IS INFEASIBLE,
PERMITTEES MUST DOCUMENT THE RESCORS IN THE SWPPP. SHEET PILLING THE BUFFER IS INFEASIBLE,
INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN, R. 7090] IS A REDUNDANT PERIMETER CONTROL IF
INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN, R. 7090]

9.19 FERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DE SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE FERMITTEES MUST USE CONVENTIONAL AND SEDIMENT CONTINUES PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIM CONTROL SYSTEM FOR ILLIFATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE [MINN. R. 796]

10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]

10.1 DEWATERING AND BASIN DRAINING, IMMN. R. 7990)
10.2 PERMITTES MUST DISCHARGE TURBIG OR SEMMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCHDITCH CUTS FOR DRAINING; TO A TEMPORARY OR PERMARENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INTER-ASIBLE, PERMITTEES MAY DEWATER TO SURPACE WATERS IF THEY SYDULALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SURP. 2) WILL ON TRESULT FROM THE DISCHARGE, IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR ENTERNO. A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPS SUCH THAT THE DISCHARGE DOES I ADVERSELY AFFECT THE SURPACE WATER OR DOWNSTREAM PROPERIES. BMNN. R. 7050.0210.

10.3 IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE, IMINN. R. 70001 SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS FAUS) PRIOR TO DISCHARGE, (MINN. K. 7090)

104 PERMITTERS MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANHER THAT DOES
NOT CAUSE EROSION OR SCOUR IN THE MIMEDIATE VICINITY OF DISCHARGE POINTS OR RIVINDATION OF WETLANDS IN THE
MIMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE MIPACT TO THE WETLAND, (MSM. R. 7090) IMMEDIAL FURNITY OF DESCRIPTION OF THE FORM OF THE PROPERTY OF THE PROCESS. OF THE PROCESS OF THE PROCESS. OF THE PROCESS, OF THE PROCESS, OF THE PROCESS, OF THE PROCESS, OF THE PROCESS OF THE PROCESS. OF THE PROCESS OF THE PROCESS

11.1 INSPECTIONS AND MAINTENANCE, IMINN, R. 7090)

11.1 INSPECTIONS AND MAINTENANCE, IMMILE, PROPRING AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DUBINON, ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCHIN 24 HOURS. JUMIN R. 7.7991

11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPS. (MINN. R. 7090) 11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR PERLACE OR SUPPLEMENT ALL NON-EUNCTONAL BMPS WITH FUNCTIONAL BMPS BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS AND THE TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.5. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA, MININ. R. 70.

FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]
11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES. INSECTION, CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASING, AND OTHER DRAINAGE SYSTEMS AND REST BABLICE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABLIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS, FERMITTEES MUST USE ALL REASONABLE EFFORTS TO DISTAN ACCESS. IF PRECLUDED, REMOVAL AND STABLIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISTANDIA CACESS. IF PRECLUDED, REMOVAL AND STABLIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISTANDIA CACESS. AFER MEST EAS AND EXPENDIBLE FOR CONTACTION CALL COAG, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. (MINN. R. 7095)

(MINTA. K. 1791)

11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS
WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES.
PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF
APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAPETY HAZARD TO USERS OF PUBLIC STREETS. (MINN. R. 7930) 11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE, IMINN, R. 70901

11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME, IMININ, R. 7090) 11.9 PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. IMINN. R. 7090]

- 10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOW A. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
- B. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT, OR
- IF CONDITIONS WARRANT, OR

 C. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE
 SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UP ON RESUMBING
 CONSTRUCTION, WHICHEVER COMES FIRST, IMINN. R. 73091
 11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED
 AND THESE RECORDS MUST BE RETAINED WITH THE SWYPP. THESE RECORDS MUST INCLUDE:

- . NAME OF PERSONS CONDUCTING INSPECTIONS; AND
- . ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED:
- D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES): AND
- D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MANITEMANCE ACTIVITIES); AND E. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 MORES BY 2H ONDS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT, PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERTY MANITAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARES; AND F. IF PERMITTEES OBSERVE A DISCHARGE UNITED THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, CDOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBSUDUS INDICATORS OF POLLUTAINTS; AND
- G. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS, (MINN. R. 7090)

12.1 POLLUTION PREVENTION MANAGEMENT MEASURES, [MINN. R. 7090]

12.2 FERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. (MINN. R. 7090)

THIN STORMWATER, [MINN. R. 7080]

12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (MCLUDING OL, DESEL FUEL, GASCLINE, HYDRAULC; FLUIS, PANN 50.0 LYENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY OF PREVENT SPILLS, LEAKS OR OTHER DISCHARGE.

12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. IMINN. R. 7035]

(MINN. K. 7499) 12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041) TEMBLI LESS MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED ON LEAKED CHEMICA. THE NEW THE DISCHARGE OF SPILLED ON LEAKED CHEMICALS OF THE LIST OF

USING DIRT VLEAR OF MEASONES THRERE PUSSIBLE, INIMIN, 51A1, 110A01]

12.9 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTER FROM THE WASHING ACTIVITY PROPERLY, PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS, MIMIN, R. 7030]

DETERGENTS, OR SOLVENTS, [MINN. R. 7090]

12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) BELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUMOFF FROM THE WASHOUT OPERATIONS OR AREAS, PERMITTEES MUST FOREITY, DISOPOSE LIQUID AND SOLID WASTES IN CONLAINCE WITH MPCA RULES, PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY, [MINN. R. 7036, MINN. R. 7090].

13.1 PERMIT TERMINATION CONDITIONS, [MINN. R. 7090]

18.2 PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VECETATIVE COVER MUST CONSIST OF A UNIFORM PERRANIAL VECETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWITH, VECETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VECETATION, SUCH AS IMPERIOUS SURFACES OR THE BASE OF A SAND FILTER, [MINN. R. 7090] 13.3 PERMITTERS MUST CLEAN THE PERMANENT STORMWATER THE REAL METER (MINN. R. 7090)

13.3 PERMITTERS MUST CLEAN THE PERMANENT STORMWATER THE REAL MENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST CLEAN THE PERMANENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND DESIGNED, MINN. R. 7090)

3.4 PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. [MINN. R. 7030] 13.5 PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDMENT CONTROL BMPS PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPS DESIGNED TO DECOMPOSE ON-SITE IN PLACE, IMMIN. R. 7091 13.6 FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERMITTEE CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWHER, NAD THE PERMITTEE DISTRIBUTES THE MPCAS "THOMEOWNER TACT SHEET" TO THE

13.7 FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTIME THE NOT THISM.

14.1 TEMPORARY SEDIMENT BASINS. [MINN. R. 7090]

13.1 LEW ORACT SEQUENCE TO ACCESS OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN TO PROVIDE TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTER'S SUFFACE WATERS, PERMITTEES MAY CONVERT A TEMPORARY SEDIMENT BASIN TO A PERMANENT BASIN AFTER CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHO PERMANENT COVER HAS REDUCED THE ACREAGE OF DISTURBED SOIL TO LESS THAN TEN (1) ACRES DRAINING TO A COMMON LOCATION, IMMIN. R. 7009] 114 3 THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR, 24-HOUR STORN FROM EACH ACRE DRAINED TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINED, WINCHCHEVER IS GREATER, BIMIN. R. 7960)

14.4 WHERE PERMITTEES MAVE NOT CALCULATED THE TWO (2)-YEAR, 24-HOUR STORM RUNOFF AMOUNT, THE TEMPORARY BASIN MUST PROVIDE 3,60 C USIG: FEET OF LIVE STORAGE PER ACRE OF THE BASINS' DRAINAGE AREA. (MINN R. 7.080) 14.5 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS (MINN R. 7.090)

(MINN. K. 7090)

ALE PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS. PERMITTEES MAY TEMPORARILY SUSPEND THE USE OF A SURFACE WITHDRAWAL MECHANIS DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT FAILURE OF POND INTESHRITY, (MINN. R. 7080)

14.7 PERMITTEES MUST PROVIDE ENERGY DISSIPATION FOR THE BASIN OUTLET WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. (MINN. R. 7880) 14.8 PERMITTEES MUST LOCATE TEMPORARY BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11, MINN. R. 7890]

14.9 PERMITTEES MUST CONSTRUCT THE TEMPORARY BASINS PRIOR TO DISTURBING 10 OR MORE ACRES OF SOIL DRAINING TO A COMMON LOCATION, IMINN. R. 7993]

TO A COMMON LOCATION, IMINI. R. 7698]
14-10 WHERE A TEMPORARY SEDIMENT BASIN MEETING THE REQUIREMENTS OF ITEM 14.3 THROUGH 14.9 IS INFEASIBLE, PERMITTEES MUST INSTALL EFFECTIVE SEDIMENT CONTROLS SUCH AS SMALLER SEDIMENT BASING ANDORS SEDIMENT TRAPS, SILT FENCES, VEGETATIVE BUFFER STRIPS OR ANY APPROPRIATE COMBINATION OF MEASURES AS DICTATED BY RIDIVIDUAL STRE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS INFEASIBLE, PERMITTEES MCCONSIDER PUBLIC SAFETY AND MAY CONSIDER FACTORS SUCH AS SITE SOILS, SLOPE, AND AVAILABLE AREA ON-SITE. PERMITTEES MUST DOCUMENT THIS DETERMINATION OF INFEASIBLE/FERMINATION. TO APPLIED THE SOILS, SLOPE, AND AVAILABLE AREA ON-SITE.

15.1 PERMANENT STORMWATER TREATMENT SYSTEM. [MINN, R. 7090]

IS 2 PERMITTEES MUST DESIGN THE PROJECT SO ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VOLGATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY BY MUNDATION OR DECREASE OF FLOW, MININ R. 7890

WE LOAD SCANSED IT INVADIATION DECREASE OF FLOW, IMMITS TO MANY THE TREATMENT SYSTEM TO TREAT THE WATER QUALITY VOLUME IF THE PROJECTS ULTIMATE DEVELOPMENT REPLACES VEGETATION AND/DOK OTHER PROVIOS SURFACES CREATING AND/DOK TOTHER PROVIOS SURFACES CREATING AND/DOK TOTHER PROVIOS SURFACES.

CREATING A FET INCREASE OF DOKE (1) OR MORE ACRES OF CHILD LATTER IMPREVIOUS SURFACE, IMMIN. R. 7899) 15.4 PERMITTEES MUST CALCULATE THE WATER QUALITY VOLUME AS ONE (1) INCH TIMES THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7080]

16.5 PERMITTEES MUST FIRST CONSIDER VOLUME REDUCTION PRACTICES ON SITE (E.G., INFILTRATION OR OTHER) WHEN DESIGNING THE PERMANENT STORMWATER TREATMENT SYSTEM. IF THIS PERMIT PROHIBITS INFILTRATION AS DESCRIBED IN ITEM 16.14 THROUGH ITEM 16.21, PERMITTEES MAY CONSIDER A WET SEDIMENTATION BASIN, FILTRATION BASIN OR REGIONAL POOD. THIS PERMIT DES NOT CONSIDER WET SEDIMENTATION BASIN SAND FILTRATION SYSTEMS TO BE VOLUME REDUCTION PRACTICES. [MINN. R. 7990]

16.6 FOR PROJECTS WHERE THE FULL VOLUME REDUCTION REQUIREMENT CANNOT BE MET ON-SITE, (E.G., THE SITE HAS INFILTRATION PROMISTIONS), PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. (MINN. R. 7090) 16.7 PERMITTEES MUST DISCHARGE THE WATER QUALITY VOLUME TO A PERMANENT STORMWATER TREATMENT SYSTEM PRIOR TO DISCHARGE TO A SURFACE WATER. FOR PROPOSES OF THIS TEM, SURFACE WATERS DO NOT INCLUDE MAN-HAID PRIOR TO DISCHARGE TO A SURFACE WATER SO DO NEW ATTER STORMWATER TREATMENT SYSTEM, MINN. R. 7999) IS SWIEDE THE PROXIMITY OF DEBDOCK PRECUISES THE INSTALLATION OF ANY OF THE PERMANENT STORMAN. R. 78

16.5 WHERE THE PROXIMITY OF DEBDOCK PRECUISES THE INSTALLATION OF ANY OF THE PERMANENT STORMANENT STORMANEN

WATERS, MINN. R. 7999]

1.65 POR LINEAR PROJECTS WHERE PERMITTEES CANNOT TREAT THE ENTIRE WATER QUALITY VOLUME WITHIN THE EXISTING RIGHT-OF-WAY, PERMITTEES MUST MAKE A REASONABLE ATTEMPT TO OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OF OTHER PERMISSION FOR STORMWATER TREATMENT DURING THE PROJECT PLANNING PROCESS DOCUMENTATION OF THESE ATTEMPTS MUST BE IN THE SWPPP. PERMITTEES MUST STILL CONSIDER VOLUME REDUCTION PRACTICES FIRST AS DESCRIBED IN TIEM 1.5. IF PERMITTEES CANNOT OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OF OTHER PERMISSION, HEY MUST MAXIMIZE THE TREATMENT OF THE WATER QUALITY VOLUME PRIOR TO DISCHARGE TO SURFACE WATERS, IMINN.

122 INFLITATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: INFLITRATION BASINS, INFLITRATION TRENCHES, RAINWATES GADGINS, BIORETENTION AREAS WITHOUT UNDERDRAINS, SWALES WITH IMPERMEABLE CHECK DAMS, AND NATURAL DEPRESSIONS. IN FERMITTEES BUTLIZE AN INFLITATION SYSTEM TO MEET THE REQUIREMENTS OF THIS PERMIT THEY WIST INCORPORATE THE DESIGN PARAMETERS IN TIEM 16.3 THROUGH TEM 16.2.1 PERMITTEES MUST FOLLOW THE INFLITRATION SYSTEM DESIGNED, INCLUDION THOSE NOT REQUIRED BY THIS PROHISTION.

1.5 JERMITE SES MIST DESIGN INFILTRATION SYSTEMS SUCH THAT PRE-EXISTING HYDROLOGIC CONDITIONS OF WETLANDS IN THE VICINITY ARE NOT IMPACTED (E.G., NUNDATION OR BREACHING A PERCHED WATER TABLE SUPPORTING A WETLAND) INNIN. R. 78091. (MINN. R. 799)

16 A PERMITTEES MUST NOT EXCAVATE INFILTRATION SYSTEMS TO FINAL GRADE, OR WITHIN THREE (3) FEET OF FINAL GRADE UNTIL THE CONTRIBUTING GRANAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SECMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. (MINN. R. 7939)

16.5 WHEN EXCAVATING AN INFILTRATION SYSTEM TO WITHIN THREE (3) FEET OF FINAL GRADE, PERMITTERS MUST STAKE OFF AND MARK THE AREA SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA

AREA: JIMINI. N. 1989)

16.6 PERMITTES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, FOREBAY, OR WATER QUALITY INLET (E.G., CRIT CHAMBER) TO REMOVE SOLIDS, FLOATING MATERIALS, AND OIL AND GREASE FROM THE RUNOFF, TO THE MAZIMUM EXPERT PRACTICABLE, BEFORE THE SYSTEM MOUTES STROMMATER TO THE INFILTENTION SYSTEM, IMMN. R. 7599, 16.7 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS TO PROVIDE A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE. FROM THE NET INCREASE OF IMPERVIOUS SUFFACES CREATED BY THE PROJECT. (MININ. R.

7090)
16 S PERMITTEES MUST DESIGN THE INFILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER GUALITY VOLUME) ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ENGNERED MEDIA SURFACE WITH 48 HOURS, PERMITTEES MUST ROUTE ADDITIONAL FLOWS THAT CANNOT INFILTRATE WITHIN 48 HOURS TO BYPASS THE SYSTEM THROUGH A STABULZED DISCHARGE POINT; IMIM. R. 7990) 16.9 PERMITTEES MUST PROVIDE A MEANS TO VISUALLY VERIFY THE INFILTRATION SYSTEM IS DISCHARGING THROUGH THE SOIL SUIRFACE OR FILTER MEDIA SUIRFACE WITHIN 48 HOURS OR LESS. MINN, R. 70901

8.10 PERMITTEES MUST PROVIDE AT LEAST ONE SOIL BORING, TEST PIT OR INFILTROMETER TEST IN THE LOCATION OF THE IFILTRATION PRACTICE FOR DETERMINING INFILTRATION RATES, IMINN, R. 7090)

WHILI RAIL OF PROJECT OF DETERMINES WITH TOXIDE MOST PROSESS. MINISTRA 1992 AS A SAFETY FACTOR OF PREMITTEES MUST PROVIDE FIELD MEASURED INFILTRATION RATES BY 2 AS A SAFETY FACTOR OF PREMITTEES CAN USE SOIL-BORING RESULTS WITH THE INFILTRATION RATE CHART IN THE MINISSOTA STORMWATER MANUAL TO DETERMINE DESIGN INFILTRATION RATES. WHEN SOIL BORINGS INDICATE TYPE A SOILS, PERMITTEES SHOULD PERFORM FILLD MEASUREMENTS OF WEITY THE RATE IS NOT ABOVE 5.3 INCHES PER FOUND. THIS PERMIT PROHIBITS INFILTRATION FACE IS ABOVE 5.3 INCHES PER FROME. THIS PERMIT PROHIBITS WHILL AND THE PROMISED SHOULD PROVIDE THE PROFILE MEASURED WHILL AND THE PROMISED SHOULD PROVIDE THE PROFILE MEASURED WHILL AND THE PROMISED SHOULD PROVIDE THE PROFILE MEASURED WHILL AND THE PROMISED SHOULD PROVIDE THE PROFILE MEASURED WHILL AND THE PROMISED SHOULD PROVIDE THE PROFILE MEASURED WHILL AND THE PROFILE WHILL AND THE 16.12 PERMITTEES MUST EMPLOY APPROPRIATE ON-SITE TESTING ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION FROM THE SEASONALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED INFILTRATION OVERTEL INJUNE 7 FAMO.

16.13 FRMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE INFILTRATION SYSTEM. (MINN. R. 709)

16.14 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS THAT RECEIVE RUNOFF FROM VEHICLE FUELING AND MAINTENANCE AREAS INCLUDING CONSTRUCTION OF INFILTRATION SYSTEMS NOT REQUIRED BY THIS PERMIT, IN

PERMII., IMINI. N. 7.090]
ILST STREAM PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WHERE INFILTRATING STORMWATER MAY MOBILIZE HIGH LEVELS OF CONTAMINANTS IN SOIL OR GROUNDWATER, PERMITTEES MUST EITHER COMPLETE THE MAY ASSESSMENT TO DETERMINE TH SUITABILITY FOR INFILTRATION, PERMITTEES MUST RETAIN THE CHECKLIST OR ASSESSMENT WITH THE SWYPP, FOR MORE INFORMATION AND TO ACCESS THE MIPCA'S "CONTAMINATION SCREENING CHECKLIST" SEE THE MINNESOTA STORMWATER MANUAL, [MINN. R. 7680]

MANUAL. (MIN. R. 7090)
It 16 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WHERE SOIL
INFILTRATION RATES ARE FIELD MEASURED AT MORE THAN 8.3 INCHES PER HOUR UNLESS THEY AMEND SOILS TO SLOW THE
INFILTRATION RATE BELOW 9.3 INCHES PER HOUR, (MININ R. 709) IL IKATUR KATE BELOW 3.3 IN-JRES YER ROUP. [MINN. K. 7/99] 17 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITH LESS THAN THREE FEET OF SEPARATION INSTANCE FROM THE BOTTOM OF THE INFILTRATION SYSTEM TO THE ELEVATION OF THE ASONALLY SATURATED SOILS OF THE TOP OF BEDROCK. [MINN. R. 7/99]

16.18 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS OF PREDOMINATELY HYDROLOGIC SOIL GROUP TYPE D SOILS (CLAY). [MINN. R. 7090] 18.19 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WITHIN A DRINKING WATER SUPPLY MANAGEMENT AREA (DWSMA) AS DEFINED IN MINN. R. 4720.6100, SUBP. 13, IF THE SYSTEM WILL BE LOCATED:

A, IN AN EMERGENCY RESPONSE AREA (ERA) WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY AS DEFINED BY THE MINNESOTA DEPARTMENT OF HEALTH; OR B. IN AN ERA WITHIN A DWISMA CLASSIFIED AS MODERATE VULNERABILITY UNLESS A REGULATED MS4 PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUPPLICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER; OR

INEARMENT STSTEM AND TO PREVENT ADVESSE IMPACES TO GROUNDWATER, UNC.

OUTSING OF AN EEA WITHIN A DWSMA CLASSIFIED AS HAVING INFIGURE OF THE OF WITHIN THE OFFICE OF THE OFFICE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OF

SEE "HIGHER LEVEL OF ENGINEERING REVIEW" IN THE MINNESOTA STORMWATER MANUAL FOR MORE INFORMATION, IMINN. R. 70901

(799) 16.20 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITHIN 1,000 FEET UPGRADIENT OR 100 FEET DOWNGRADIENT OF ACTIVE KARST FEATURES. (MINN. R. 7090)

16.21 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTION INFILTRANCE SYSTEMS IN AREAS THAT RECEIVE RUNOFF FROM THE FOLLOWING INDUSTRIAL FACILITIES NOT AUTHORIZED TO INFILTRANCE STORMWATER UNDER THE RIPOES STORMWATER REPRINT FOR INDUSTRIAL ACTURES. AUTOMOSES ES AUX 405 YARDS, SCRAP RECYCLING AND WASTE TREATMENT, STORAGE, OR DISPOSAL FACILITIES FOR AIR TRANSPORTATION FACILITIES THAT CONDUCT DELICING ACTURITIES. (MINN. R. 7309)

17.1 FILTRATION SYSTEMS. [MINN. R. 7090]

1.3 2 IL TEATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: SAME FILTERS WITH UNDERDIRANDS, BIGHT, INTATION AREAS, SWALES USING UNDERDRANDS WITH IMPERIANE ABLE CHECK DAMS AND UNDERGROUND SAND INTERS. IF PERMITTERS UTILIZE A FILTRATION SYSTEM TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT, THEY MUST COMPLY WITH THEMS 17.3 THROUGH 97.11, IMPIN. R. 7980]

COMPLY WITH HEMS 17.3 INKOUGH 17.11, IMMINE, K. 7090]
17.3 PERINITES MUST NOT NISTALL FILTER NEGOL WITH THEY CONSTRUCT AND FULLY STABILIZE THE CONTRIBUTING DRAINAGE AREA UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RIVOR FOOMPLETELY AWAY FROM THE FILTRATION AREA, IMMIN. R. 7090]
17.4 PERMITTEES MUST DESIGN FILTRATION SYSTEMS TO REMOVE AT LEAST 80 PERCENT OF TSS. [MINN. R. 7090]

IT, 8 FERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VECETATED FUTTER STUP; SMALL SEDMENTATION BASIN, WATTE CULLIUTY, NUELT, FOREST, OR HYDRODYNAMIC SEPARATORY TO REMOVE SET LEAGE SOLDING FLOATHIO MATERIALS, RELTRATION SYSTEM, (MINN. R. 70). ELTRATION SYSTEM, (MINN. R. 70).

7.5. PERMITTERS MUST DESIGN. FILTRATION SYSTEMS TO TREAT A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OR TRUNDEF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY AMOTHER SYSTEM ON THE SITE, FROM THE NET KINCREASE OF INNERVOUS SURFACES CREATED BY THE PROJECT, IMMN. R.

(1799)
17.7 PERMITTEES MUST DESIGN THE FILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER QUALITY VOLUMER ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ERGINEERED MEDIA SURFACE WITHIN 48 HOURS. ADDITIONAL FLOWS THAT THE SYSTEM CANNOT FILTER WITHIN 48 HOURS MUST BYPASS THE SYSTEM OR DISCHARGE THROUGH AN EMERGENCY OVERFLOW. (MINN. R. 7990)

17.8 PERMITTEES MUST DESIGN THE FILTRATION SYSTEM TO PROVIDE A MEANS TO VISUALLY VERIFY THE SYSTEM IS DISCHARGING THROUGH THE SOIL SURFACE OR FILTER MEDIA WITHIN 48 HOURS. [MINN. R. 7090] 17.9 PERMITTEES MUST EMPLOY APPROPRIATE ON SITE TESTING TO ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION
BETWEEN THE SEASOMALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED FILTRATION
SYSTEM IMAIN 8

17.10 PERMITTEES MUST ENSURE THAT FILTRATION SYSTEMS WITH LESS THAN THREE (3) FEET OF SEPARATION BETWEES SEASONALLY SATURATED SOILS OR FROM BEDROCK ARE CONSTRUCTED WITH AN IMPERMEABLE LINER, IMINN, R. 70901 17.11 THE PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE FILTRATION SYSTEM (MINN R 7090)

18.1 WET SEDIMENTATION BASIN, (MINN. R. 7090)

18.2 PERMITTEES USING A WET SEDIMENTATION BASIN TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 18.3 THROUGH 18.10. (MINN. R. 7090) 18.3 PERMITTEES MUST DESIGN THE BASIN TO HAVE A PERMANENT VOLUME OF 1,800 CUBIC FEET OF STORAGE BELOW THE OUTLET FIPE FOR EACH ACRE THAT DRAINS TO THE BASIN. THE BASIN'S PERMANENT VOLUME MUST REACH A MINIMUM DEPTH OF AT LEAST THREE (3) FEET AND MUST HAVE NO DEPTH OREATER THAN 10 FEET. PERMITTEES MUST CONFIGURE THE BASIN TO MINIMIZE SCOUR OR RESUSPENSION OF SOLIDS, (MINN. R. 7030)

16.4 PERMITTEES MUST DESIGN THE BUSHE CESION OF SOLIDS. [MINN. R. 7990]

16.4 PERMITTEES MUST DESIGN THE BASIN TO PROVIDE LIVE STORAGE FOR A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTAMEOUS VOLUME) OF ONE (1) INCH OF ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7990]

18.5 PERMITTEES MUST DESIGN BASIN OUTLETS SO THE WATER QUALITY VOLUME DISCHARGES AT NO MORE THAN 5.65 CUBIC FEET PER SECOND (CFS) PER ACRE OF SURFACE AREA OF THE RASIN, MINN, R. 70901

19.6 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. BASIN OUTLETS MUST HAVE ENERGY DISSIPATION. IMINN. R. 7099) 18.7 PERMITTEES MUST DESIGN THE BASIN TO INCLUDE A STABILIZED EMERGENCY OVERFLOW TO ACCOMMODATE STORM EVENTS IN EXCESS OF THE BASIN'S HYDRAULIC DESIGN. (MINN. R. 7090)

18.8 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE BASIN. (MINN. R. 7090) 18.9 PERMITTEES MUST LOCATE BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. PERMITTEES MUST DESIGN BASINS TO AVOID DRAWNING WATER FROM WEILANDS UNLESS THE IMPACT TO THE WETLAND COMPLIES WITH THE REQUIREMENTS OF SECTION 22, [MINN. R. 7690]

18.10 PERMITTEES MUST DESIGN BASINS USING AN IMPERMEABLE LINER IF LOCATED WITHIN ACTIVE KARST TERRAIN. [MINN. P. 7000]

19.1 REGIONAL WET SEDIMENTATION BASINS. (MINN. R. 7090)

19.1 REGIONAL WET SEDIMENTATION BASINS, (MINN. R. 7090)

12. YWIEN THE ENTITIE WATE QUALITY YOULDINE CANNOT BE RETAINED ONSITE, PERMITTEES CAN USE OR CREATE REGIONAL
WET SEDIMENTATION BASINS PROVIDED THEY ARE CONSTRUCTED BASINS, NOT A NATURAL WETLAND OR WATER RODLY.
WETLANDS, USED AS REGIONAL BASINS MINST THE RITTIGATED FOR, SEE SECTION 22, THE OWNER MUST ENSURE THE
REGIONAL BASIN CONFORMS TO ALL REQUIREMENTS FOR A WET SEDIMENTATION BASIN AS DESCRIBED IN TEMS 18.3
HEROUGH IS AT AND MUST SEE LARGE ENOUGH TO ACCOUNT FOR THE ENTIRE AREA THAT DRAINS TO THE REGIONAL BASIN
PERMITTEES MUST VERRY THAT THE REGIONAL BASIN WILL DISCHARGE AT NO MOBE THAN 5.66 CFS PER ACRE OF SURFACE
AREA OF THE BASIN AND MUST PROVIDE A LIVE STORAGE VOLUME OF ONE INTEREST ALL THE IMPERVADUS REASHING
TO THE BASIN PERMITTEES CANNOT SIGNIFICANTLY DEGRADE WATERWAYS BETWEEN THE PROJECT AND THE REGIONAL
BASIN. THE OWNER MUST OFFIRM WRITTEN AUTHORIZES.

20.2 PERMITTEES MUST KEEP THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING NORMAL WORKING HOURS BY PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THAT PORTION OF THE SITE, IN

1 TRAINING REQUIREMENTS. [MINN. R. 7090]

2 PERMITTEES MUST ENSURE ALL OF THE FOLLOWING INDIVIDUALS RECEIVE TRAINING AND THE CONTENT AND EXTENT OF THE TRAINING IS COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES TYPERED UNDER THIS PERMIT.

B. INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT, ONE OF THESE INDIMIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.

. INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090] 21.3 PERMITTEES MUST ERSURE INDIVIDUALS IDENTIFIED IN SECTION 21 RECEIVE TRAINING FROM LOCAL STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPENTISES IN EROSSION PREVENTION, SEMBERTI CONTROL, PERNANENT STORMWATER TREATMENT AND THE MINNESOTA NPDESISDS CONSTRUCTION STORMWATER FRAME PROMISED FROM THE SEMBERT AND THE MINNESOTA NPDESISDS CONSTRUCTION STORMWATER FRAME PRANIFIED FROM THE SEMBERT AND ACTION FOR THE SEMBERT AND ACTION FOR THE SEMBERT AND THE SEMBERT AN

24.1 GENERAL PROVISIONS. [MINN. R. 7090]

24.2 IF THE MPCA DETERMINES THAT AN INDIVIDUAL PERMIT WOULD MORE APPROPRIATELY REGULATE THE CONSTRUCTION ACTIVITY, THE MPCA MAY REQUIRE AN INDIVIDUAL PERMIT TO CONTINUE THE CONSTRUCTION ACTIVITY. COVERAGE UNDER THIS GENERAL PERMIT WILL ERBAIN IN EFFECT UNTIL THE MPCA ISSUES AN INDIVIDUAL PERMIT MININ, A 7001 (2210, SUBP. 6) 24.3 IF THE PERMITTEE CANNOT MEET THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT, AN OWNER MAY REQUEST AN INDIVIDUAL PERMIT, IN ACCORDANCE WITH MINN. R. 7001,0210 SUBP. 6. IMINN. R. 7001,0210. SUBP. 61 24.4 ANY INTERESTED PERSON MAY PETITION THE MPCA TO REQUIRE AN INDIVIDUAL NPDESISDS PERMIT IN ACCORDANCE WITH 40 CFR 122.28(B)(3), (40 CFR 122.29(B)(3))

2.4.5 PERMITTEES MUST MAKE THE SWPP, INCLUDING ALL INSPECTION REPORTS, MAINTENANCE RECORDS, TRAINING RECORDS AND OTHER INFORMATION REQUIRED BY THIS PERMIT, AVAILABLE TO FEDERAL, STATE, AND LOCAL OFFICIALS WITHIN THREE (3) DAYS UPON REQUEST FOR THE DURATION OF THE PERMIT AND FOR THREE (3) YEARS FOLLOWING THE NOT. (MINN. R. 709)

24.6 PERMITTEES MAY NOT ASSIGN OR TRANSFER THIS PERMIT EXCEPT WHEN THE TRANSFER OCCURS IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ITEM 3.7 AND 3.8. IMININ. R. 70901

THE APPLICABLE REQUIREMENTS OF ITEM 3.7 AND 3.8, IMININ. R. 7690]
24.7 NOTHING IN THIS PERMIT MUST SE CONSTRUED TO RELIEVE THE PERMITTEES FROM CIVIL OR CRIMINAL PENALTIES FOR NORCOMPLIANCE WITH THE TERMS AND CONDITIONS PROVIDED HEREIN. NOTHING IN THIS PERMIT MUST BE CONSTRUED TO PRECLUCE THE INITIATION OF ANY LECAL ACTION OR RELEVEY THE PERMITTEES FROM ANY RESONDIBILITIES OF REPLAYED TO WHICH THE PERMITTEES ISARE OR MAY BE SUBJECT TO UNDER SECTION 3.11 OF THE CLEAN WATER ACT AND MINN. 3.7 AT, SECT. 11.6 AND 11.6, AS AMERICADE. PERMITTEES ARE NOT LIABLE FOR PERMIT RECONSTRUENT PROPERTY AS REQUIRED IN TEM 3.7 OR THE PERMITTEES HAVE SUBMITTED THE NOT AS REQUIRED IN SECTION 4.3 MINN. R. 7090]
AS THE REDURED IN TEM 3.7 OR THE PERMITTEES HAVE SUBMITTED THE NOT AS REQUIRED IN SECTION 4.3 MINN. R. 7090] 24.8 THE PROVISIONS OF THIS PERMIT ARE SEVERABLE. IF ANY PROVISION OF THIS PERMIT OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCES IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT MUST NOT BE AFFECTED THEREBY, JIMHN R. 7990

24.9 THE PERMITTEES MUST COMPLY WITH THE PROVISIONS OF MINN. R. 7001.0150, SUBP. 3 AND MINN. R. 7001.1090, SUBP. 1(A) 1(B), 1(C), 1(N), 1(I), 1(24 10 THE PRINTERS MUST ALLOW ACCESS AS PROVIDED IN 40 CFR 122.41(f) AND MINN. STAT. SECT. 115.04. THE PERMITTEES MUST ALLOW ACCESS AS PROVIDED IN 40 CFR 122.41(f) AND MINN. STAT. SECT. 115.04. THE PERMITTEES BUIST ALLOW REPRESENTATION OF CREDENTALS. TO GENER UPON ANY PROPERTY, PUBLIC OR PRINTER FOR THE PURPOSE OF OBTAINING INFORMATION OR EXAMINATION OF RECORDS OR CONDUCTING SURVEYS OR INVESTIGATIONS, 140 CFR 122.41(f).

241 FOR THE PURPOSES OF MINN. R. 780 AND OTHER DOCUMENTS THAT REFERENCE SPECIFIC SECTIONS OF THIS FERMIT. 241 FOR THE PURPOSES OF MINN. R. 780 AND OTHER DOCUMENTS THAT REFERENCE SPECIFIC SECTIONS OF THIS FERMIT. SOME AND 23. MINN. R. 7800 CORRESPONDS TO SECTIONS 7 THROUGH 15; AND 'APPENDIX A' CORRESPONDS TO SECTIONS 22 AND 23. MINN. R. 7800

PLOWE

6776 LAKE DRIVE SUITE 110 LIND LAKES, MN 660

PHONE: (651) 361-821 FAX: (651) 361-8701 DRAWN BY: CHECK E JOB NO: DATE: 22-2043 02/15/2

ADDITION FOURTH , , MINNESOTA PP ST I FOREST EAS S

SHEET

HIDDEN

C3.1

PROJECT LOCATION

" NO ASSIGNED ADDRESS " STUTZ ST NE & 145TH AVE NE (EAST OF LEXINGTON AVE NE) HAM LAKE, MN 55304 ANDKA COUNTY

LATITUDE: 45.23985 LONGITUDE: -93.13870

DEVELOPER

HFN PROPERTIES, LLC 17404 WARD LAKE DR NW ANDOVER NN 55304

CONTACT NAME: JEFF STALLBERGER
CONTACT PHONE: (612) 779-1471
CONTACT E-MARL: stally68@msn.com

GENERAL CONTRACTOR

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS SEVERAL PONDS ARE PROPOSED TO MEETING STORMWATER MANAGEMENT REQUIREMENTS. SEE "STORMWATER DRAINAGE REPORT" FOR FURTHER DISCUSSION

SITE IMPERVIOUS AREAS

	CONSTRUCTION	AFTER	
TOTAL SITE AREA	100± ACRES		
TOTAL ESTIMATED IMPERVIOUS	4.3 ACRES	13.6 ACRES	
TOTAL ESTIMATED PERVIOUS	9.3 ACRES	86.4 ACRES	

TOTAL DISTURBED AREA

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SIT

RECEIVING WATERS WITHIN ONE MILE

NAME OF WATER BODY	WATER BODY	WATER	WATER
UNNAMED WETLANDS	WETLAND	NO	NO
UNNAMED DITCH	DITCH	NO	NO
COUNTY DITCH NO. 44	DITCH	NO	NO
CARLOS AVERY	WETLAND	NO	МО
COON CREEK	CREEK	NO	YES

IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?

THE SURFACE WATER PRESERVED?

NOTE: ANTUME BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES,
JUDICAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS,
STORMO PAIN INLETS, AND SEDIMENT BASINS.

A) THERE ARE NUMEROUS WETLANDS ON THE SITE FROM WHITEN A SO-FT
MATURAL BUFFER CANNOT BE PRESERVED. REDUNDANT SEDIMENT CONTROL

ED IN THOSE LOCATIONS.

TEMPORARY SEDIMENTATION BASINS

IF TEN (19) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNDER BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?

UNFACE WATERS?

A BECAUSE THIS SITE IS WITHIN ONE [1] MILE OF AN IMPAIRED WATER, THE REQUIREMENT BECOMES FIVE (5) ACRES. THE CONTRACTOR WILL PROVIDE TEMPORARY SEDIMENTATION BASINS IF FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION.

INFILTRATION FEASIBILITY

ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14
YES NO NIA THROUGH 16.21? A) THE SITE HAS A HIGH SEASONAL WATER TABLE SO INFILTRATION IS NOT FEASIBLE IN ALL LOCATIONS.

ADDITIONAL STORMWATER MITIGATION MEASURES

YES NO . ENVIRONMENTAL PROPERTY OF THE PROPERT

ENVIRONMENTAL REVIEW DOCUMENT?

ENDANGERED SPECIES REVIEW?

ARCHAEOLOGICAL REVIEW?

IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS MECESSARY TO AVIOL, MIMILIARY FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWARD TRANSMERS AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY, IRBIN, M. 7.096]

DOCUMENTATION OF TRAINED INDIVIDUALS

INDIVIDUAL WHO PREPARED THE SWPP

B INDIVIDUAL(S) OVERSEEING MEDI EMENTATION OF DEVISING ANDIOD SWPPP AND MONDMOLAS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OI THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. IMMN. R. 70901

NAME	
COMPANY	 TBD - WHEN INFORMATION BECOMES
ADDRESS 1	 AVAILABLE, CONTRACTOR TO PROVIDE
ADDRESS 2	INFORMATION TO CITY OF HAM LAKE A
PHONE	CCWD & UPDATED SWPPP ACCORDING
EMAIL.	
CMAIL	

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND

ENAIR OF BMPS.	[MINN. R. 7090]	
NAME		
COMPANY		TBD - WHEN INFORMATION BECOMES
ADDRESS 1		AVAILABLE, CONTRACTOR TO PROVIDE
ADDRESS 2		INFORMATION TO CITY OF HAM LAKE AND
PHONE		CCWD & UPDATED SWPPP ACCORDINGLY
EMAIL		

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES
THE PROPOSED STORMWATER MANAGEMENT FEATURES FOR THIS SITE INCLUDES
STORMWATER PONDS. THESE WILL BE OPERATED AND MAINTAINED BY THE CITY OF HAM

REVEGETATION SPECIFICATIONS

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT COMMERCIAL TURF RESIDENTIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE) MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY FALL COVER SPRINGSSUMMER SOIL-BUILDING COVER 1-2 YEARS COVER 2-5 YEARS COVER	MNDDT MIX 21-112 (100 LBS/ACRE) MNDDT MIX 21-111 (100 LBS/ACRE) MNDDT MIX 21-113 (110 LBS/ACRE) MNDDT MIX 22-111 (30.5 LBS/ACRE) MNDDT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
HYDROMULCH	3884
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

· MOW A MINIMUM OF: RESIDENTIAL TURF - ONCE PER 2 WEEKS COMMERCIAL TURF - ONCE PER 4 WEEKS

** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

TYPE	QTY	UNIT
SILT FENCE		LINEAR FEET
BIO-ROLLS		EACH
RIP-RAP W. GEO-FABRIC		CUBIC YARDS
CATCH BASIN INLET PROTECTION		EACH
STABILIZED (SODDED) OVERFLOW		EACH
EROSION CONTROL BLANKET		SQUARE YARDS
SEED & MULCH (GENERAL)		ACRE
ROCK CONSTRUCTION ENTRANCE		EACH

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

- NARRATIVE: -TIMING TOR INSTALLATION OF EROSION AND SEDMENT CONTROL MEASURES

 1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP
 MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

 2. CONTRACTOR SHALL INSTALL SILT FERCE AS SHOWN ON PLAN.

 2.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.

 2.2. THE CONTRACTOR SHALL MANITAIN SILT FENCE, INCLUDING THE REMOVAL OF
 ACCUMULATED SEDMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION

 2.3. SILT PENCE SHALL REAM IN PLACE UNITS. SITE AS SEEN STABLIZED.

 1. CONTRACTOR SINERE CONSTRUCTION TRAFFIC WILL ENTEREXIT SITE.

 2. CONTRACTOR TO INSTALL TIME PROTECTION FEMCING AS APPLICABLE

 5. CONTRACTOR TO HAVE A REASON.

- CON INCICION STALL PHENOMEN SITE MACRINING UN AN AMERICAY-MER BASIS TO MINIMIZE UNSTABILIZED AREAS.

 5. CONTRACTOR BLUST INMEDIATELY INITIATE STABILIZATION OF EXPOSED SITE OF STABILIZATION OF EXPOSED SITE OF THE PERMIT, AND COMPLETE THE STABILIZATION OF WITHOUT STATE OF THE CONSTRUCTION ACTIVITY IN THAT FORTION OF THE SITE TEMPORABILY OR PERMANENTLY CRASES.
- RACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN
- CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS ACCOUNTED IN SECTION 14.1 THROUGH 14.10.

 CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACEMT PROPERTY LINES TO ENSURE THE REDISION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.

 ALL EROSIGN AND SEDIMENT ONTO ADJACENT PROPERTIES.

 ALL EROSIGN AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES
- PHASE II PERMIT REQUIREMENTS.
 CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL
 BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE
- BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING CONTRACTOR TO STABILIZE SOIL STOCKPILES; STABILIZATION SHALL BE INITIATED
- 10. CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF
- CON INACTURE SHOULD HAVE A CONTROL OF THE SHOULD HAVE A CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR
- WHEN MAI REALS ON DEBANGS FAVE WASHEUPLOWED UNTO ADJACENT STREETS AS DIRECTED BY CITY.

 12. COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, CABLE, FIBEROPTIC, ETC.), AFTER CURB & GUTTER INSTALLATION.

IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MM DNR DEWATERING PERMIT AND PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATIONS, SCHEDULE AND QUANTITIES TO CCWD A MINIMUM OF SEVEN (7) DAYS PRIOR TO DEWATERING OPERATIONS.

NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF PROSERVINGH AND SEDIMENT CONTROL, AND WATER PRACTICABLE MEANS OF TO CONTROL, PREVENTION AND SEDIMENT CONTROL, PROVIDED MEANS OF TO CONTROL, PREVENTI, AND MINIMES DEGRADATION OF SURFACE WATER. INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION-PHASING, MINIMESING THE LENGTH OF TIME SOIL, AREAS ARE EXPOSED, PROHEITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES, MINNE, 7.093]

COUNT MUSE REPORTS, AND CHARM MORRANGERS HINN. LICE A POLISIANE OF 15 YAR ON COUNTY OF THE ACTION OF

TOWNTERING* MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY ANDIOR SOLIDIFY. THE ACCOUNT OF SURFACE OR GROUND WATER TO DRY ANDIOR SOLIDIFY A CONSTRUCTION SET TO EARLY CARREST OR SURFACE OR STRUCTURE AND ACCOUNT OF THE ACCOUNT O

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING, [MINN. R. 7090]

(MINN. R. 7090)

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS. WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR. THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER, IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER IS THE GENERAL CONTRACTOR IN THESE CASES, THE OWNER SIGNS THE PERMIT PROJECTION AND SECOND STILE SOLE PERMITTEE (MINN. R. 1799) "GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH.
IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER
UNDER CONFIDED, UNCONFINED OR PERCHED CONDTIONS, IN HEAR SURFACE
UNCONSOLIDATED SEDMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R.

7990)
"INITIATED IMMEDIATELY" HEARS TAKING AN ACTION TO COMMERCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHICH THE LAND-DISTURBING ACTIVITIES TEMPORABLY OF PRIMAMENTY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PRIMAMENTY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PARENDER DAYS OF THE PERMITTEES AND THAT CONSTRUCTION WORK ON THAT PARENDER DAYS OF THE PERMITTEES CAN WORK OF THE PROPRIETS CAN WITHER THAT SAY ON THE PERMITTEES CAN WITHER THAT SAY ON THE PERMITTEES CAN

IMITIATE STABILIZATION BY:

A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR

B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA;
OR

C. SEEDING OR PLANTING THE EXPOSED AREA; OR D. STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR

E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE

DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7090]

DEPULIER FOR COMPLETING STRIBLES TO THE STRIBLES AND THE OVER SUIFFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES, (IMNN R. 7099)
"ANTIONA, POLITANT DISCHARGE ELIMINATION SYSTEM (IMDES)" IMANS THE
PROGRAM FOR ISSUING, MODIPYING, REVOKING, RESSUING, TERMINATING, MONITORING,
AND ENFORTION PERMITS INDEST THE CLEAN WATER ACT, AS AMENDED GJ GUS.C. 1281 ET
SEQ. SECTION 1424 AND 40 CFR PARTS 122, 123, 124 AND 459, (IMNN, R. 7090)
"ATURAL, BUFFEET MEANS AN AREA OF VINDSTUBBLED COVIES SUBROCINOING SUSFACE
WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED NATURAL BUFFER
INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND HAT EXISTS PRIOR
TO COMMERCEMENT OF EARTH-DISTURBING ACTIVITIES, (IMNN, R. 7090)

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT, IMINN. R.

MAP OF SURFACE WATERS

SITE

911 ft

143rd Ave NE

"OPERATOR: MEANS THE FERSON USUALLY THE GENERAL CONTRACTOR, FRIM, ODDERNIHERING AGENCY, OR OTHER ENTITY DESCONATED BY THE OWNER HWO LASE DAY TO DAY OPERATIONAL CONTROL ANDORT THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SYMPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE SUBCONTRACTORS HRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR AS NOT OPERATORS, IMBNE, IZ 7809.

INE GERERAL CUNINACION ANE NOI OPERATORS, IMAN. N. 7990)

"OWNER' MEANS THE PERSON, FIRM, GOVERNMENT, A GENCY, OR OTHER ENTITY
POSSESSING THE TITLE OF THE LAMO ON WHICH THE CONSTRUCTION ACTIVITIES WILL
OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASTENITY, OR NIMERAL,
RIGHTS LICEMSE HOLDER, THE PARTY OR RIOVIDUAL IDENTIFIED AS THE LEASE,
EASTENITY OR MIRITRAL RIGHTS LICEMSE HOLDER, OF THE CONTRACTIVING OVERNMEN
AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY, [MINN. R. 7090]

AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY, (MINN, R. 7090)
"FERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FALURE UNDER EROSSYE CONDITIONS, EXAMPLES INCLUDE: GRAVEL, CONCERTE, PERENNIAL COVER, OR OTHER LANDSCAPE DI MATERIAL HAT WILL PREVENT AMERICATION OF THE COVER OR OTHER LANDSCAPE DI MATERIAL HAT WILL PERMANHENTLY ARREST SOIL EROSION, PERMITTES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (E. EVENT, VEGETATIVE COVER OF THE MATIVE BACKGROUND VEGETATIVE COVER OF HAT WE DESIGN OF OTHER DESIGN OF THE MATIVE BACKGROUND VEGETATIVE COVER OF HAT WE DESIGN OF THE MATIVE BACKGROUND VEGETATIVE COVER OF HAT WE DESIGN OF THE MATIVE BACKGROUND VEGETATIVE COVER OF HAT WE DESIGN OF THE MATIVE BACKGROUND VEGETATIVE COVER OF HAT WE DESIGN OF THE MATIVE BACKGROUND VEGETATIVE COVER OF HAT WE DESIGN OF HE MATERIAL PROPERTY HAT WE DESIGN OF HE BANKET, MILL CA, AND ROLLED EROSION CONTROL PRODUCTS, IMMIN. R. 7090)

"PERMITTEES" MANK THE PERSON, FIRM, OUTSIAN ET 17991
"PERMITTEES" MANK THE PERSON, FIRM, OUTSIANMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MYCLAND AGE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT, IMINN, R. 7099]

PROJECTION MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. (MINH. R. 7990)

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15. [MINN. R. 7090]

STAT. SECT. 1030-005 SUBP. 16, [MINN. R. 7000]

SEDIMENT CONTROL. MEANIN BETHOOD SEND YED OF PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE STIFE (E.G. SILT FENCES, COMPOST LOGS AND STORM DARAIN INEET PROTECTION, [MINN. R. 7000]

*STABILLZE: "STABILLZED". "STABILLZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEER COVERED BY APPROPRIATE MATERIAL SUCK A MULCIL, STAKED SOOD, PRPACE, ROSSON CONTROL BEAMET, MATERIAL SILVE MATERIAL THAT PREVENTS ESTABLED FROM STABLES SECENCIA, ADDICULTURAL CROP SEEDING OR OTHER SECONDAY OF THE SEC

STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE MINN R. 70901 "STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL AND WASTE BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS, [MINN. R, 7090] BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS, (MININ, R. 7090)
"SUBFACE WATER OR WATERS" HEARS ALL STERRANS, LAKES, POODS, MARSHES,
WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS,
WATERCOURSES, AND IRRIGATION SYSTEMS WHITER NATUREAL OR ARTHFICIAL, PUBLIC
OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER
TREATMENT SYSTEMS CONSTRUCTED FROM UPLAD. THIS PERMIT DOES NOT CONSIDER
STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND INTIGATED IN
ACCORDANCE WITH SECTION 22 AS SURFACE WATERS, [MININ, R. 704].

ACCORDANCE WITH SECTION 22 AS SURFACE WATERS, [MINN: R. 7090]

"WATERS OF THE STATE" (AS DEFINED IN MINN: STAT. SECT. 116.0), SUBP. 22] MEANS ALL STREAMS, LAKES, POINES, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, TO STATE STATE AND ALL STREAMS AND BORDER OPUN THE STATE OR ART PORTION THEREOF, IMMN, STAT, TRUIT, SUBP. (22)
"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN
IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN
INSTANTANEOUS VOLUME). [MINN. R. 7690]

INSTANTANEOUS VOLUMES, [MINN. R. 7980] VIEW TALB. MEANS THOSE AREAS THAT WETLANDS (AS DEFINED IN MINN. R. 7980, D188, SUBP. 1A.B.) MEANS THOSE AREAS THAT ARE MUNDATED OR SATURATED BY SUBPACE WATER OR RORINDWATER AT A PRECUPERCY AND HUDBES MORBAL. CIRCLUSSTANCES OD SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONTINIONS. WELLANDS ORDERALLY MICHOE SWAMPS, MASSHES, BOOS, AND SIMILAR AREAS. CONSTRUCTED WEILANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WEILANDS MUST HAVE THE FOLLOWING ATTRIBUTES:

I. A PREDOMINANCE OF HYDRIC SOILS; AND

2. INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND

3, UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION.
[MNN. R. 7050.0186, SUBP. 1A.B]

COON CREEK IS IDENTIFIED AS AN IMPAIRED WATER AND HAS AN EPA APPROVED IMPAIRMENT OF BENTHIC MACROINVERTEBRATE BIOASSESSMENTS AND E. COLL BECAUSE OF THIS, ADDITIONAL BMP REQUIREMENTS ARE REQUIRED:

PERMITTEES MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN TIEM 8-4, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.

PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14 FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (6) OR MORE ACRES DISTURBED AT ONE TIME.

PLOWE

6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 550

PHONE: (651) 361-821 FAX: (651) 361-8701 DRAWN BY: CHECK B JOB NO: DATE: 22-2043 02/16/23

HAT THIS PLAN WAS PREPARE!
TORECT SUPERVISION AND TH
TO PROFESSIONAL ENGINEER
F THE STATE OF MINNESOTA.

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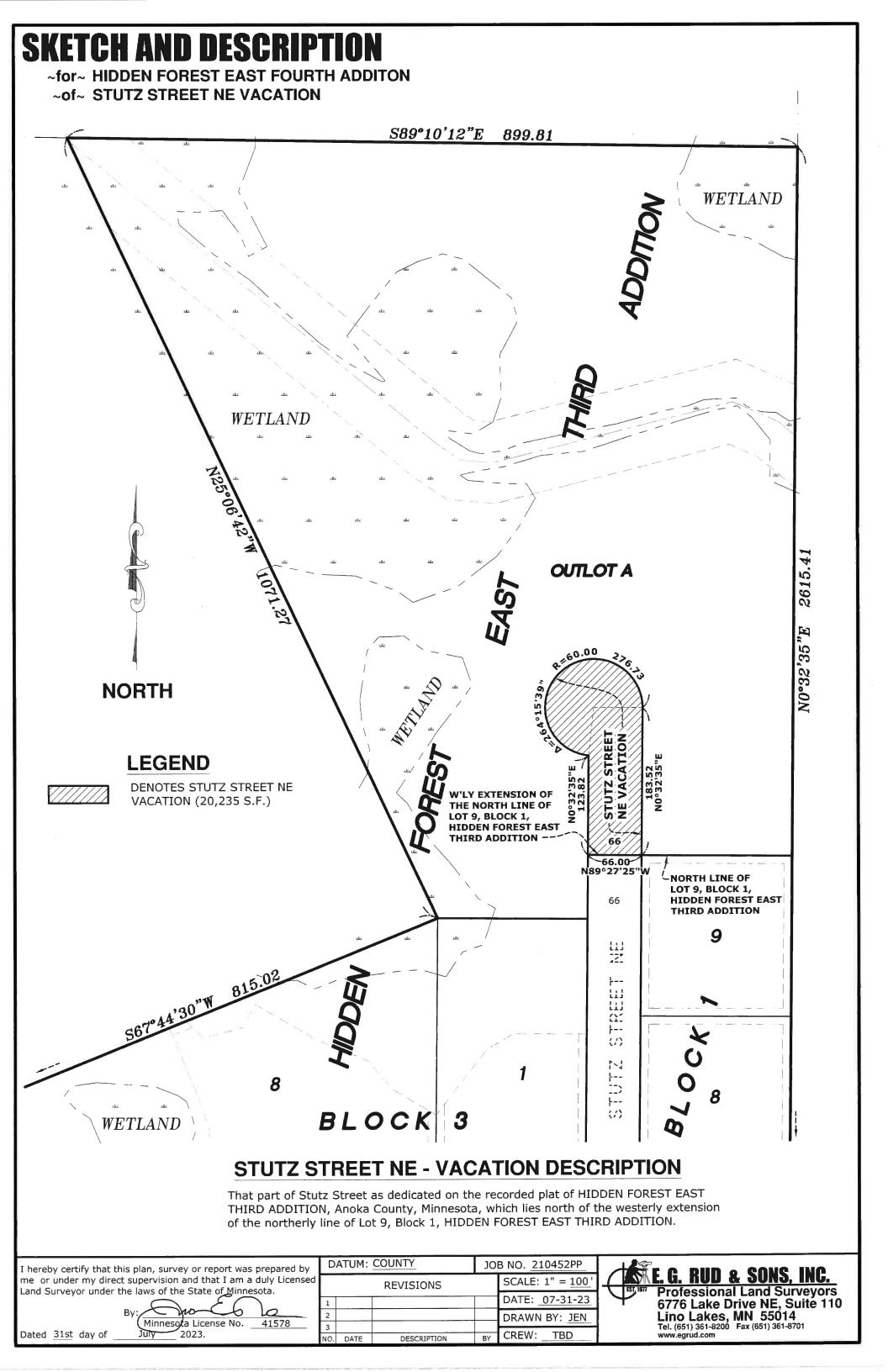
T FOURTH A EAST AW LAKE. SWPI FOREST E

SHEET

HIDDEN

C3.2

22-2043



PERMIT

COON CREEK WATERSHED DISTRICT

13632 Van Buren St NE Ham Lake, MN 55304 Permit Number: 2330

Project:

Hidden Forest East Fourth Addition

Issued to:

HFN Properties, LLC 17404 Ward Lake Dr Anoka MN 55304

Location:

Stutz St NE and 149th Ave NE

Ham Lake, MN 55304

Permit Application #:

P-23-023

Purpose:

Construction of a 22-lot single family home development with associated

stormwater features, streets, and utilities

At its meeting on 4/24/2023, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

- 1. Civil Plans (12 sheets); by Plowe, dated 05/16/2023, received 05/16/2023.
- 2. Grading Plans (5 sheets); by Plowe, dated 05/16/2023, received 05/16/2023.
- 3. Stormwater Management Plan; by Plowe, dated 05/16/2023, received 05/16/2023.
- 4. Response Letter; by Plowe, dated 05/16/2023, received 05/16/2023.
- 5. Storm Sewer Sizing; by Plowe, dated 4/11/2023, received 4/11/2023.
- 6. Permit application, by Applicant, dated 2/02/2023, received 2/14/2023.
- 7. County Ditch Culvert Sizing, by Plowe, dated 2/1/2023, received 2/17/2023.
- 8. Geotechnical Report, by Braun Intertec, dated 12/08/2022, received 2/14/2023.
- 9. Soil Borings, by Tradewell Soil testing, dated 12/23/2022, 10/16,2020, 10/32022, received 2/14/2023.
- 10. High Water Level Memo, by Braun Intertec, dated 1/06/2023, received 2/14/2023.
- 11. Updated Water Level Reading, by Braun Intertec, dated 2/16/2023, received 3/17/2023.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

- Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2, including volume, critical elevations, and proof of installation for hydrodynamic separators.
- 2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
- 3. Submittal of as-built (invert, pipe material, pipe size) for culvert installation within County Ditch 44-5.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: Date of Expiration: 7/25/2023 7/25/2024

Jim Hafner, President of the Board of Managers

cc:

File- P23-023

Tom Collins, Ham Lake Eileen Weigel, Stantec Danielle Tourtillott, Stantec

GENERAL PERMIT STIPULATIONS:

- 1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
- 2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
- 3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
- 4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
- 5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
- 6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
- 7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

- 1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
- 2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
- 3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

- 1. The project is complete
- 2. The site is stabilized
- 3. The project is ready for final inspection
- 4. All stipulations listed on this permit have been fulfilled
- 5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

- 1. Amount of escrow balance paid in cash;
- 2. Minus any permit review and/or inspection fees
- 3. Minus any other project-related expenses incurred by the District.