# CITY OF HAM LAKE



15544 Central Avenue NE Ham Lake, Minnesota 55304 (763) 434-9555 Fax (763) 434-9599

# CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, OCTOBER 23, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: October 9, 2023

**PUBLIC HEARINGS:** 

**6:01 p.m**. Ryan Becker of Unlimited Concrete Concepts, LLC requesting a Conditional

Use Permit to operate a construction service contractor business at 16651

Polk Street NE

#### **NEW BUSINESS:**

- 1. Ryan Becker of Unlimited Concrete Concepts, LLC requesting Commercial Site Plan approval to construct a 4,608 square foot office/warehouse building at 16651 Polk Street NE. PID# 08-32-23-33-0007
- Jeff Stalberger, MN Development LLC, requesting Sketch Plan approval for a development located at 2506 Swedish Drive NE (47 Residential Single Family lots and 1 out lot) in Section 4

## **COMMISSION BUSINESS:**

1. City Council Update

# CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, OCTOBER 9, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, October 9, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Jeff

Entsminger, Jonathan Fisher and David Ross

**MEMBERS ABSENT:** Commissioners Dave Ringler and Erin Dixson

OTHERS PRESENT: City Engineer Dave Krugler, Building and Zoning Official Mark

Jones and Building and Zoning Clerk Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

## **PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

Chair Pogalz welcomed members of BSA Troop 3509 who were in attendance.

Chair Pogalz introduced newly appointed Commissioner David Ross. Commissioner Ross was recently chosen to fill the seat vacated by Scott Heaton.

## APPROVAL OF MINUTES:

Motion by Lejonvarn, seconded by Entsminger, to approve the minutes of the September 25, 2023 Planning Commission meeting as written. All present in favor, motion carried.

## **PUBLIC HEARING:**

Jeremy Larson of Hampton Companies requesting to rezone certain parcels of land, 1016 Bunker Lake Boulevard NE, from R-1 (Single Family Residential) to R-AH (Affordable Housing District)

Mr. Jeremy Larson from Hampton Companies/Suite Living was present. Mr. Larson stated Suite Living provides high-acuity through end of life specialty care to its residents. Mr. Larson stated his company intends to construct a Suite Living Senior Care facility featuring 32 units on this parcel, with 20 units dedicated to assisted living and 12 units dedicated to memory care; hospice services will be provided to residents as well. Mr. Larson stated there are currently 14 Suite Living Senior Care facilities in the Twin Cities area; there will be 18 by the end of the year. Mr. Larson stated there will be 20-25 part-

time or full-time basis employees. Chair Pogalz stated a memo was provided by Building and Zoning Official Mark Jones recommending approval of the rezoning request. Commissioner Fisher completed the inspection; a copy which is on file. Commissioner Fisher stated the parcel has no structures on it, it is adjacent to townhomes and Majestic Oaks Golf Course and appears to be a suitable location for an assisted living facility. Building and Zoning Official Jones stated the Willows of Ham Lake and Majestic Greens senior apartment buildings are nearby. Chair Pogalz asked Mr. Larson if access to the parcel will only be from Bunker Lake Boulevard NE. Mr. Larson stated that it would be and that the access would be directly across from the 138th Lane NE access point onto Bunker Lake Boulevard NE to the north. Commissioner Leionvarn asked Mr. Larson if he had plans to use the facility for anything other than an affordable housing memory care and assisted living unit. Mr. Larson stated he did not. Mr. Larson stated no other uses are being proposed and added they do offer 20% of their rooms on Elderly Waiver paid by the State of Minnesota which could be considered affordable housing. Mr. Larson stated most residents are private pay. Mr. Larson stated the company is a family owned business; he and his Dad own the company and have one business partner. Mr. Larson stated they have a unique business model as they own the real estate company, construction company and care facility; they do not hire third-party operators.

# Chair Pogalz opened the public hearing at 6:09 p.m. and asked for public comment.

<u>Joan Olchefske, 967 138<sup>th</sup> Lane NE</u>. Ms. Olchefske asked what happens if the parcel is rezoned and the project isn't completed. Ms. Olchefske asked if that opened it up to something else.

Nancy Schardin, 912 136<sup>th</sup> Lane NE. Ms. Schardin stated she lives in the townhomes adjacent to the property. Ms. Schardin stated she has a few questions based on concerns from townhome owners. Ms. Schardin stated there is a path through the woods near the townhomes that golf carts drive on to get to the tunnel that leads to the golf course. Ms. Schardin asked if that path is on the 1016 Bunker Lake Boulevard NE parcel and will that path no longer be available to the townhome residents. Ms. Schardin asked if the lighting will be intrusive to homes nearby. Ms. Schardin stated there is currently woods between the townhomes facing the southern border of the property and owners of those townhomes are concerned about the view they will have if all of the trees are removed. Ms. Schardin stated the residents are concerned about where the well and septic system will be located and will the water usage by the facility cause their wells to dry up.

Terry Blackwelder, 13830 Pierce Street NE. Ms. Blackwelder stated her property is across Bunker Lake Boulevard NE, northeast of the parcel being considered for rezoning. Ms. Blackwelder stated she is one of the board members of the Majestic Oaks Townhome Association for the first through third townhome additions. Ms. Blackwelder asked if the property is rezoned to R-AH, and the current assisted living facility project falls through, could a larger apartment complex be constructed on the parcel; residents are concerned about the size of the structure that could be built on the small parcel. Ms. Blackwelder asked if there was an investigation being done to determine if there is enough land mass to support a well and septic system for the proposed facility so the residents water supply is not compromised; some residents has issues with their wells when the City of Blaine

turned on several wells at a time. Ms. Blackwelder asked if zoning is converted from single family homes to multiple family homes does an environmental impact statement or Phase 1 Analysis need to be done on the property. Ms. Blackwelder stated Bunker Lake Boulevard NE is pretty busy and there are plans to widen it to two lanes in each direction. Ms. Blackwelder asked if additional traffic control will be needed. Ms. Blackwelder asked if the addition of this building would affect traffic patterns and are there plans to do a study to determine if a traffic circle or traffic light is needed. Ms. Blackwelder stated an alternative to an assisted living facility could be townhomes that match those that have already been constructed.

George Dahlman, 954 136<sup>th</sup> Lane NE. Mr. Dahlman stated he lives to the southwest of 1016 Bunker Lake Boulevard NE. Mr. Dahlman stated he and his wife purchased their property approximately seven years ago. Mr. Dahlman stated they have enjoyed the privacy the grove of trees along 136<sup>th</sup> Lane NE has afforded them. Mr. Dahlman stated he would like an agreement stating the trees will remain for privacy so they will not be looking at a building or a parking lot.

<u>Paul Thinesen, 911 138<sup>th</sup> Lane NE</u>. Mr. Thinesen stated his property is across Bunker Lake Boulevard NE, northwest of the parcel being considered for rezoning. Mr. Thinesen stated he has many concerns related to traffic and traffic control, lighting, the fundamental change to the area, water and sewage. Mr. Thinesen stated he would like to see a sketch of what is proposed to be constructed. Mr. Thinesen asked what the process is moving forward if rezoning was recommended for approval tonight, and how does the community continue to provide input.

<u>Bill Zawislak, 1062 137<sup>th</sup> Lane NE</u>. Mr. Zawislak stated he has two concerns: where will the parking be and where will the well be placed.

Jim Donald, 932 136<sup>th</sup> Lane NE. Mr. Donald stated he lives west of the parcel being considered for rezoning. Mr. Donald has a concern on how much water will be drawn from the aquifer. Mr. Donald stated he has a brother that lives off of Madison Street NE and 142<sup>nd</sup> Avenue NE who is having difficulties with water and is having to put filtration systems in his house. Mr. Donald asked if access to the parcel will be off of Bunker Lake Boulevard NE and how will that impact traffic now and when Bunker Lake Boulevard NE is widened. Mr. Donald asked if the septic system will have a drainfield or holding tank.

Chair Pogalz addressed the questions asked related to the following:

<u>Rezoning</u>. If the rezoning request is approved for the parcel and the assisted living/memory care project is abandoned, the property will remain in the R-AH zoning district. Building and Zoning Clerk Bohr read what was written in the City Code for R-AH zoning.

Well, Septic and Water Use. Chair Pogalz asked how many acres the parcel is. Mr. Larson stated the parcel is just under three acres. Mr. Larson stated the building will take up just under two acres which leaves adequate space for a well and septic system. Chair Pogalz asked Building and Zoning Official Jones how much space would be needed for

the septic system. Building and Zoning Official Jones stated the area needed for the septic system will be determined by the State of Minnesota Rules. The Minnesota Department of Health will regulate the well drilling. Building and Zoning Official Jones stated the well problems in other parts of the city occurred when the City of Blaine opened up four new wells all at once when they were only supposed to open one. Building and Zoning Official Jones stated the size of the well for this project will not be anywhere near the size of the well(s) opened up in Blaine.

<u>Traffic.</u> Mr. Larson stated there will be 32 units in the building. Mr. Larson stated none of the residents drive and they have very few visitors. Mr. Larson stated there will be a total of 20-25 full and part-time employees. Mr. Larson stated six to eight employees will be working during the day and three to five at night. Chair Pogalz stated he did not know if a traffic study had been done but the project will be reviewed by the Anoka County Highway Department.

<u>Site Plan/Size of Project</u>. Commissioner Lejonvarn asked if a site plan was available. Mr. Larson stated a site plan will be presented during the commercial site plan approval process. Chair Pogalz stated considering the space needed for the building, setbacks, a well, a septic system and parking, this project is one of a few that will fit well on the parcel.

<u>Path for golf carts</u>. Chair Pogalz stated if golf carts are driving on the property now, that will no longer be possible when Mr. Larson purchases the land and constructs the facility.

<u>Lighting</u>. Building and Zoning Official Jones stated City Code regulates outdoor lighting and proposed lighting will be evaluated during the commercial site plan review process. Mr. Larson stated the city and state regulate lighting and lighting typically shines down not out.

Existing trees. Chair Pogalz stated tree removal will be part of the construction process. Chair Pogalz asked Mr. Larson if he intends to keep as many existing trees as possible. Mr. Larson stated he does plan to keep as many existing trees as possible and will plant new trees as they want the site to look nice. Building and Zoning Official Jones stated City Code outlines screening requirements.

<u>Parking</u>. Chair Pogalz stated information on parking will also be available during the commercial site plan and Conditional Use Permit review process.

<u>Environmental Impact Statement/Phase One Assessment</u>. Chair Pogalz stated an environmental impact statement is not required for a project of this size. Mr. Larson stated a Phase One Assessment is required by his lender.

Availability of information on process/Process going forward. Chair Pogalz explained the City provides notification on projects as required by State Statute. Chair Pogalz stated notices were mailed to residents as required and a sign was posted at the location. Building and Zoning Clerk Bohr stated notices were sent as required to residents within a 350-foot radius of the parcel, a notice was published in the Star Tribune and on the City's website and was also posted on the bulletin board in the vestibule of City Hall.

Chair Pogalz stated the Planning Commission is a board that provides recommendations to the City Council. Chair Pogalz stated the City Council will review the recommendation and determine if they want to approve the request. Chair Pogalz stated there is a public comment period at the beginning of each City Council meeting for residents who want to bring issues to the attention of the City Council, but there is not a discussion period like there is during a public hearing. Commissioner Fisher stated another public hearing will be held in the future for the review of a Conditional Use Permit application for this project.

<u>Suggestion of constructing townhomes on the parcel</u>. Building and Zoning Official Jones stated the City Code allows one dwelling unit per acre; this parcel is under three acres allowing for a maximum of two units. Building and Zoning Official Jones stated the townhomes that were constructed in the area in the past utilized density from the golf course. (The Majestic Oaks Golf Course and townhome area is in a PUD zoning district which permits the construction of townhomes.)

Mark Taube, 13814 Pierce Street NE. Mr. Taube stated he is concerned about property values. Mr. Taube stated his concern is if rezoning is approved, and the assisted living/memory care project doesn't go through, the lot could become affordable housing for low income families. Mr. Taube stated he has seen affordable housing built in nice neighborhoods where he has lived in the past. Mr. Taube stated property values were affected and traffic and crime increased. Mr. Taube asked if any restrictions would be put in place to prevent that from happening.

Chair Pogalz asked if anyone else wanted to comment on the project. A woman in the audience stated she had questions about the type of building that would be constructed-would it be a high-rise. The woman stated this meeting has provided her with some of the answers she was seeking. Mr. Larson confirmed his plans are to construct a single-story building.

Paul Thinesen, 911 138<sup>th</sup> Lane NE. Mr. Thinesen stated, there has been discussion about how many living units the parcel could support. Mr. Thinesen asked how many could it support? Building and Zoning Official Jones stated a high-rise building would require a large septic area. Building and Zoning Official Jones stated it would be difficult to put in a parking lot and septic system to support a multi-level building on a lot under 3 acres. Mr. Thinesen stated per the discussion, the City believes the parcel can support a building that houses 32 residents. Engineer Krugler stated the plans and septic design will be evaluated by the City to determine if the parcel can support the proposed occupancy of the proposed facility. Mr. Thinesen asked why evaluation of the plans and septic design wasn't done prior to rezoning the parcel. Chair Pogalz stated if the land did not get rezoned, Mr. Larson would not be able to move forward with the project.

<u>Property value</u>. Chair Pogalz stated property value is not something the Planning Commission can speculate on. Chair Pogalz stated the City's goal is to keep properties maintained to the highest level possible within the limits of the City's control. Building and Zoning Official Jones stated he has seen the Suite Living Senior Care facility in Ramsey and it is a nice-looking building.

Mark Taube, 13814 Pierce Street NE. Mr. Taube asked if restrictions could be put in place to prevent the parcel from being converted to low-income, affordable housing usage should the property be sold to someone else in the future. Chair Pogalz stated that could be a discussed during public hearing for the Conditional Use Permit.

Terry Blackwelder, 13830 Pierce Street NE. Ms. Blackwelder had a document of the area and stated it appears the corner of the property actually intersects with 136<sup>th</sup> Lane NE. Ms. Blackwelder asked if there is some kind of easement that will be between the street and where Mr. Larson's company will build or plant. Engineer Krugler stated right-of-way requirements are typically 33-feet from one side to the other and an additional ten-feet of drainage and utility easement is required. Engineer Krugler stated easements will be included on the site plan and reviewed during the commercial site plan process. Ms. Blackwelder asked what the City knew about the parcel immediately west of 1016 Bunker Lake Boulevard NE. Chair Pogalz stated it is a separate parcel with a different owner not subject to being reviewed with the rezoning request.

Chair Pogalz closed the public hearing at 6:55 p.m.

Motion by Fisher, seconded by Lejonvarn, to recommend approval of Jeremy Larson's request to rezone parcel 1016 Bunker Lake Boulevard NE from R-1 (Single Family Residential) to R-AH (Affordable Housing District) subject to meeting all City, County and State requirements. All present in favor, motion carried. This application will be placed on the City Council's Monday, October 16, 2023 agenda.

Chair Pogalz informed the residents in attendance there is a public comment period at the beginning of City Council meetings if they have comments to share. Chair Pogalz stated when the commercial site plan is reviewed, a public hearing will be held to discuss the Conditional Use Permit as well. Chair Pogalz stated a land use sign will be put in place again and notices will be sent and published on the City's website.

<u>Jesse Osborne requesting a revision to the approved conditions of the final plat for the Creekside Farms Commercial Development in Sections 7 and 8</u>

Mr. Jesse Osborne stated the original screening plan for the east side of the property was going to use part of the buildings and some fencing in addition to trees. Mr. Osborne stated he is not going to construct the buildings at this time. Mr. Osborne stated he would like to modify the screening proposal originally approved so he will be able complete his final performance requirement for the plat's Development Agreement. Mr. Osborne stated he has decided he would like to plant three to four-foot pine trees along the eastern property line of the plat. Chair Pogalz asked the Commissioners if they had any questions. There were none. Commissioner Lejonvarn completed the inspection; a copy which is on file. Commissioner Lejonvarn stated he spoke with Mr. Osborne and visited the site. Commissioner Lejonvarn stated he and Mr. Osborne discussed all landscaping plans that had been presented, including the plan suggested by Building and Zoning Official Jones. Commissioner Lejonvarn stated the screening plan will create a barrier between the development, a field and some residential homes. Commissioner Lejonvarn stated City Code states coniferous trees planted for screening should be five feet tall; the plans propose three and four-foot coniferous trees. Commissioner Lejonvarn stated

along the eastern property line there are residential parcels, utility easements, an infiltration basin and the locations Mr. Osborne proposes to construct the buildings. Commissioner Lejonvarn stated he will describe the plan he and Mr. Osborne discussed starting from the northeast corner of the plat and going to the southeast corner. Commissioner Lejonvarn detailed where trees would be planted, the number of rows of trees to be planted in each area, the spacing and placement of the trees as well as the type and height of trees for Phase 1 of the screening plan. Commissioner Lejonvarn stated the trees are not to be dug up and moved. Chair Lejonvarn stated the screening for Phase 2 will be done when buildings have been constructed and will consist of fencing being constructed between the east-facing walls of the buildings. (The original fencing approved is six-foot, slatted, chain link fencing.) Commissioner Lejonvarn stated the screening will consist of trees as the first barrier and then the buildings and fencing will be another barrier. Engineer Krugler stated there is a thirty-five-foot U.P.A. (a.k.a. rural Cooperative Power Association and Great River Energy) easement on the east side of the plat; no trees are to be planted in that easement. Building and Zoning Official Jones asked Mr. Osborne for verification that all the trees would be planted in Phase 1 and that the trees would not be moved. Mr. Osbourne stated the trees will stay there. Mr. Osborne stated he will plant four-foot trees near 167th Avenue NE and at the south entrance to the development along Buchanan St NE. Building and Zoning Official Jones stated he had concerns with the original screening plan as he does not believe the use of buildings for screening is the intent of the Code. Building and Zoning Official Jones stated Phase 2 of the proposed, new screening plan will use the buildings as screening, but the overall screening plan being proposed is an improvement to what was originally presented.

Chair Pogalz opened the public hearing at 7:10 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 7:10 p.m.

Motion by Lejonvarn, seconded by Fisher, to recommend approval of Jesse Osborne's request to revise the approved conditions of the final plat for the Creekside Farms Commercial Development in Sections 7 and 8 related to screening subject to adhering to the screening plan exhibit modified by Commissioner Lejonvarn and meeting the approval of the Building Official. The Phase 1 screening exhibit has green lines indicating where trees are to be planted and is described as:

- 1. From the northeast corner of the plat to the north edge of 167<sup>th</sup> Avenue NE a single row of four-foot conifers are to be planted ten-feet apart.
- 2. From the south edge of 167<sup>th</sup> Avenue NE to where the line begins to angle slightly to the west, a single row of three-foot conifers are to be planted tenfeet apart.
- 3. From the point where the line begins to angle to the west again, south to just north of the infiltration basin located in the southeast corner of the plat, two rows of three-foot conifers are to be planted ten-feet apart with the second row of trees being staggered to give the appearance that all trees are planted five-feet apart.
- 4. From the point just north of the southeast infiltration basin, to the edge of Buchanan Street NE, a single row of three-foot conifers are to be planted tenfeet apart.

5. From the southeast corner of the infiltration basin, to the eastern edge of Buchanan Street NE, a single row of four-foot conifers are to be planted tenfeet apart.

Trees for Phase 1 are to be planted by December 1, 2023. Phase 2 screening to include six-foot, slatted, chain link fencing which is to be constructed between the proposed buildings, no trees are to be moved or removed and all screening must be outside of nearby easements. Chair Pogalz asked if a new screening plan will be submitted for the record. Commissioner Lejonvarn stated he would modify the screening exhibit to reflect what he discussed with Mr. Osborne, and what Mr. Osborne agreed to. All present in favor, motion carried. This application will be placed on the City Council's Monday, October 16, 2023 agenda.

**NEW BUSINESS:** None

## **COMMISSION BUSINESS:**

City Council Update

Chair Pogalz stated the City Council concurred with the Commission's recommendations to approve Tom Elwell's rezoning request and the final plat of Hidden Forest East Fourth Addition. Chair Pogalz will attend the October 16, 2023 City Council meeting.

## **ADJOURNMENT:**

Motion by Fisher, seconded by Entsminger, to adjourn the Planning Commission meeting at 7:16 p.m. All present in favor, motion carried.

Jennifer Bohr Building and Zoning Clerk

# CITY OF HAM LAKE PLANNING COMMISSION REQUEST APPLICATION INSPECTION REPORT

MTG DATE: October 23, 2023

INSPECTION ISSUED TO: Brian Pogalz
APPLICANT/CONTACT: Ryan Becker, Unlimited Concrete Concepts
TELEPHONE NUMBER: 763-442-4943/ ryan@unlimitedconcreteconcepts.com
BUSINESS/PLAT NAME: <u>Unlimited Concrete Concepts</u>
ADDRESS/LOCATION OF INSPECTION: 16651 Polk St NE (Creekside Farms Dev)
APPLICATION FOR: Commercial Site Plan/Conditional Use Permit
RECOMMENDATION:
DATE:
PLANNING COMMISSIONER SIGNATURE:



# PLANNING REQUEST

RECEIVED
AUG <b>17</b> 2023
Ву:

# CITY OF HAM LAKE

# **15544 Central Avenue NE**

Ham Lake, MN 55304

17 RB		5 Fax (763) 235-1697
Date of Application $08/08/2023$	Dat	The of Receipt $\frac{8-11-33}{10-5}$ Receipt # $\frac{97132}{911}$
Meeting Appearance Dates: Planning Commission _	1073-2023 City Co	,
Please check request(s):  Metes & Bounds Conveys Sketch Plan Preliminary Plat Approva Final Plat Approval Rezoning* Multiple Dog License*	Certific  Home (	ercial Building Site ate of Occupancy Occupation Permit onal Use Permit (New)* onal Use Permit (Renewal)
*NOTE: Advisory Signage is required for This application also requires a Public	or land use alterations and Hearing. Such fees shall be	future road connections.  deducted from deposit.
Development/Business Name: <u>Cre</u>	eekside Farms	
Address/Location of property: 166	S51 Polk St NE	
Legal Description of property: <u>LO</u>	T 2 BLOCK 2 CREE	KSIDE FARMS
Notes: Construction of Construction	Current Zoning CD	Proposed Zoning
tol Construction	Service Contract	for business
Applicant's Name: Ryan Becker		
Business Name: <u>Unlimited Con</u>	crete Concepts, LLC	
Address 13739 Lincoln St	: NE Suite A	
city Ham Lake	State <u>MN</u>	<b>Zip Code</b> <u>55304</u>
Phone <u>7637533903</u> *cel	I Phone <u>7634424943</u>	Fax
Email address <u>rvan@unlim</u>	itedconcreteconcepts	
You are advised that the 60-day review not begin to run until <u>all</u> of the required	period required by Minnes i items have been received	ota Statutes Chapter 15.99 does by the City of Ham Lake.
SIGNATURE		DATE 8/17/23
**************************************	······ OR STAFF USE ONLY -	*********

ACTION BY: Planning Commission \_\_\_\_\_

City Council \_\_\_\_\_



Office - (763) 753-3903 unlimitedconcreteconcepts.com
Lic. # BC634700

# Narrative of Business

Unlimited Concrete is a concrete contractor specializing in concrete driveways and stamped concrete.

I, Ryan Becker, started the business in 2007. We have been located in Ham Lake since 2015.

Our storage needs are a few trucks and trailers outside and some materials such as rebar and forms.

We currently have 20 employees. 4 office staff and 4 foremen are regulars at the building. The other 12 workers do not come to the building often.

Our hours of operation are 6am to 5pm Monday through Friday and sometimes Saturday mornings.

Most of the traffic from our building will be the vehicles in the morning and afternoon hours when employees are leaving and returning from jobsites. We occasionally have customers come into our office, maybe twice a week, to select finishes, sign contracts, and pay bills. Since we are seasonal, winter months are much slower with little to no traffic.

8/3/23

Sincerely,

Ryan Becker, Owner

n Bed



Office (763) 862-8000 Fax (763) 862-8042

# Memorandum

Date:

October 4, 2023

To:

Planning Commissioners

From:

David A. Krugler, City Engineer

Subject:

Unlimited Concrete Concepts, LLC

### Introduction:

The proposed 4,608 square-foot Unlimited Concrete Concepts building is located on the 5.70-acre Lot 2, Block 2, Creekside Farms parcel. The parcel is zoned Commercial Development Tier 2 (CD-2). A 100-scale aerial photo, a 500-scale zoning map and a 400-scale half section map are attached.

### Discussion:

The Site Plan, Standard Notes & Specifications, Standard Details, Grading Plan, SWPPP – Standard Notes, SWPPP – Plan View, Utility Plan and Storm Sewer Design received October 2<sup>nd</sup>, the Exterior Photometrics received September 18<sup>th</sup> and the Architectural Plans received September 12<sup>th</sup> address prior review comments.

The attached Landscape Plan which was received on September 15<sup>th</sup>, shows trees surrounding the proposed building. Per 11-1853(B) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "...strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed landscaping is adequate adjacent to the public roadway or if additional screening should be required.

The Unlimited Concrete Concepts project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their August 28<sup>th</sup> meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

## Recommendation:

It is recommended that the Unlimited Concrete Concepts commercial site plan be recommended for approval, including the determination if the proposed screening is adequate.

Meeting Date: October 23, 2023

## CITY OF HAM LAKE STAFF REPORT

To:

**Members of the Planning Commission** 

From:

Mark Jones, Building and Zoning Official

Subject:

Unlimited Concrete Concepts, LLC requesting Site Plan Approval to build a 4,608 square foot office/warehouse building and a Conditional Use Permit to operate a construction service contractor business at

16651 Polk Street NE

### Introduction/Discussion:

Unlimited Concrete, a business specializing in concrete driveways and stamped concrete, is owned by Mr. Ryan Becker and has been operating since 2007. Mr. Becker is requesting site plan approval, and approval to operate under a Conditional Use Permit, at 16651 Polk Street NE. The business currently has 20 employees, 8 of which work out of the office and 12 that primarily work off-site. Unlimited Concrete's regular hours of operation are 6:00 am to 5:00 pm Monday through Friday with an occasional need to be on-site on Saturday mornings. Mr. Becker indicates outside storage will be needed at the site for company trucks, trailers and some project materials such as rebar and concrete forms. The site plan does not show a location for a refuse container. Per Mr. Becker, the refuse container will be stored inside of the building.

Per Article 9-220.1(2)(bb), Standards Common to All Mercantile Districts, Permitted Outside Storage, aesthetically screened outside storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel. Aesthetically screened storage is storage defined as inventory... behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building. The screening chosen should be a code compliant fence that is at least eight-feet high. The surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point, shall be surfaced with asphalt or concrete, to specifications established by the City's Engineer per Article 11-1851. The surface inside of the screened area can be Class V.

## Recommendation:

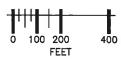
I recommend approval of the site plan with the following conditions:

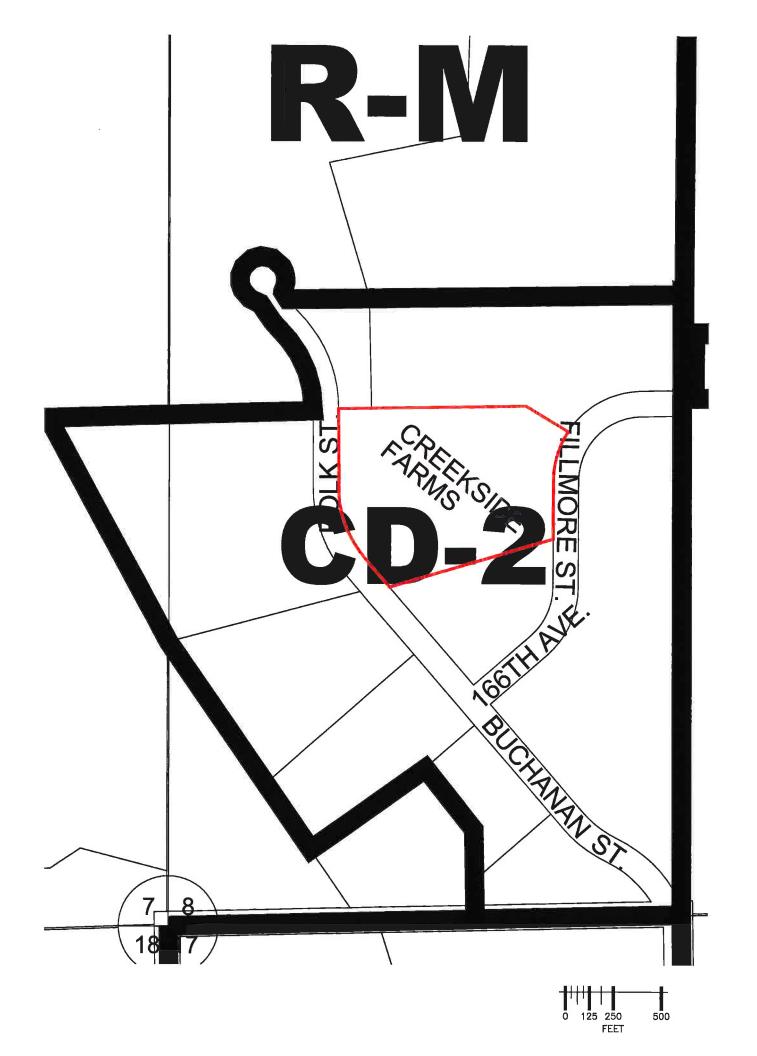
- All surfaces used for customer and employee parking and for storage of over the road vehicles shall be asphalt or concrete to specifications established and approved by the City Engineer.
- 2. All refuse containers are to be stored inside of the building. If refuse containers are stored outside, they must comply with Article 9-220.1.f.
- 3. Exterior finish of the building must meet CD-2 building standards.

I recommend approval of the Conditional Use Permit with the following conditions:

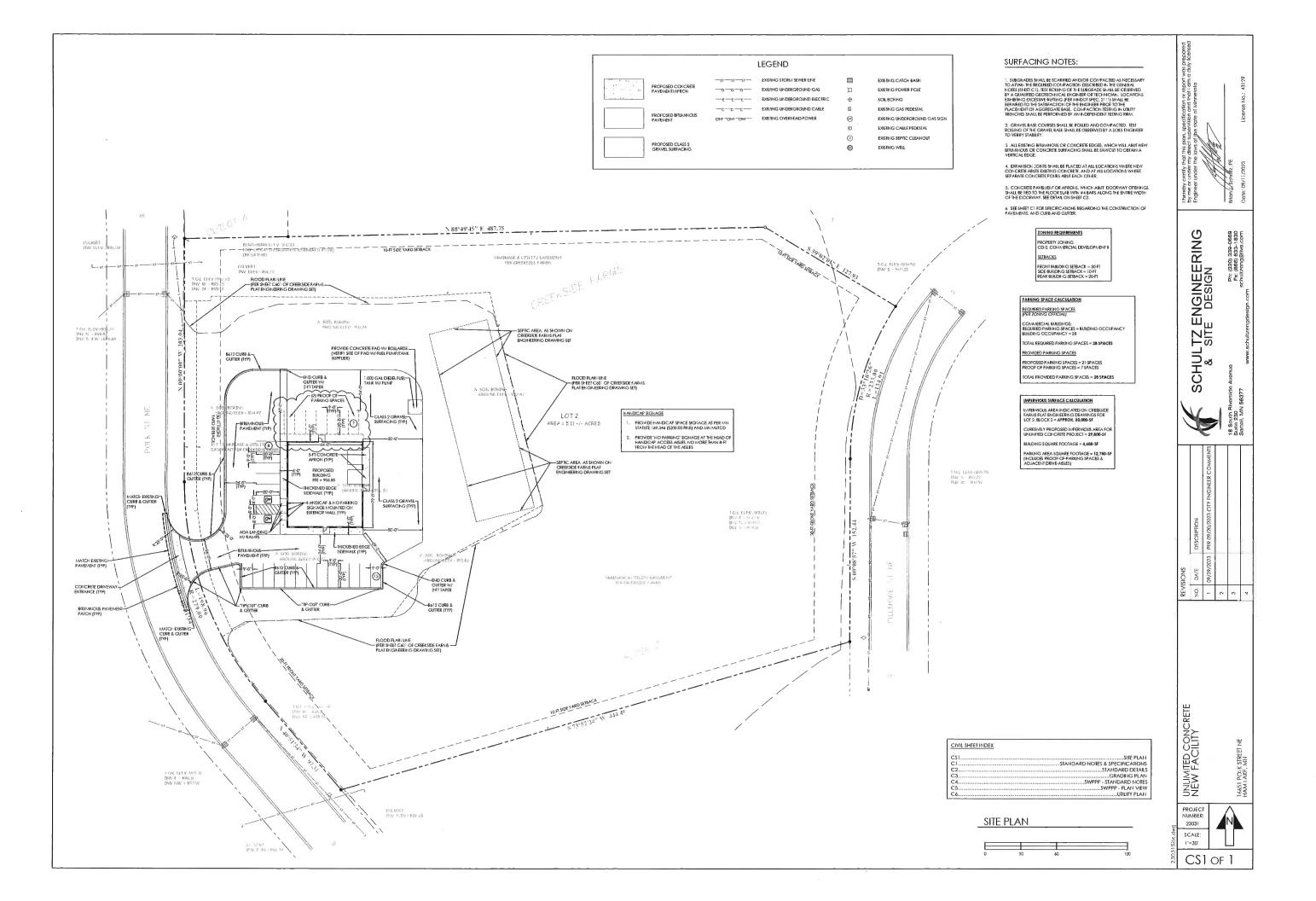
- 1. All outside storage is to be on a Class V surface screened by a code compliant fence that is at least eight-feet high.
- 2. Hours of operation are to be between 7:01 am and 10:00 pm







S 1/2 SECTION 8, T. 32, R. 23 CITY OF HAM LAKE (15)E 1/4 CORNER SEC. 8 32 W 1/4 CORNER SEC. 8 15 ft. Con EGGE TON ALLENO TERRACE TRAILER PARK [20] [17] MEADOWS 1 [4] (18) 165TH - AVE. S 1/4 CORNER SEC. 8 (34) (33) QUARTER QUARTER INDEX ANOKA COUNTY SURVEYOR'S OFFICE 22 | 21 | 12 | 11 THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. GRAPHIC SCALE Section Township Range Quarter Specific Number Number Quarter Parcel ROOM 224 23 | 24 | 13 | 14 THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY 2100 3RD AVENUE XX XX XX XXXX 32 | 31 | 42 | 41 ANOKA, MN 55303 IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED. SOUTH HALF OF SECTION SCALE IN FEET (763) 324-3200 SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1] 33 | 34 | 43 | 44 EXAMPLE OF PIN NUMBER: 08-32-23-43-0003 Last Revised: September 26, 2023 09/28/2023 11:24:49 AM, Date Printed



#### STANDARDS AND REFERENCES

Materials and construction methods specified in the plans reference the Minnesota Departm (MNDDI) Standard Specifications for Construction. The Contractor shall obtain a current cap Specifications for Construction and review the specifications sections applicable to the plans

It is mandatory that the Contractor be knowledgable of the applicable MINDOT specification sections during construction. No additional compensation will be paid to the Contractor for additional work due to unfamiliarity with the applicable specifications sections.

Contractor shall refer to the geotechnical report for additional requirements and recommendations.

#### EARTHWORK NOTES

#### PROTECTION

The Contractor shall maintain all benchmarks, manuments and other reference paints. If any ore disturbed or destroyed, they shall be replaced at the Contractor's expense.

The Contractor shall contact the Engineer immediately if any unknown functioning underground utilities are discovered during the course of the project, which may interfere with construction. The Contractor shall wall for intructions before proceeding.

3) The Contractor shall be responsible for any damage to functioning underground or overhead utility lines. Damaged utilities shall be repaired immediately and service restored at no additional cost to the Owner.

4) The Contractor shall provide barricades, sharing and other safety measures required by OSHA,

5) The Contractor shall protect all adjacent existing facilities from damage, including, but not limited to settlement due to excavations, erosion, etc. The Contractor shall be responsible for the repair of such damages.

#### PROJECT CONDITIONS

The Contractor shall become familiar with the project site, and compare actual conditions in the field with those shown on the project drowings. The Contractor shall contact the Engineer immediately if any inconsistencies are found between the existing controlliers and the project drawings.

2) No extra compensation will be allowed due to unusual conditions which could have reasonably been determined or anticipated by examination of the project site and project drowings.

#### PLAN GRADES

Bevolicirs shown on the project drawings are firshed grade elevations, unless noted atherwise. Elevations and specifically indicated that the determined by histopication of uniform slope between goal elevations and/or contact and provided that the determined by histopication of the becombined to provide portion defining events from that place the provided provided that the provided portion of the provided portion.

nistencies exist on the plans between confours and spot elevations, the spot elevations shall gover

#### TOPSOIL

1) Adequate imported and/or stockpiled salvageable topsall shall be utilized for this project.

2) Topsell shall be free of clay lumps, roots, brush, large stones, and debris, and shall have a minimum organic content of 5 percent.

3) Remove topsoil to lis entire depth from oreas which are to be disturbed by new construction work. Existing jawn areas, which are not in like proposed construction area(s) shall remain in place. The Contractor shall felt weight papsoil depths between any soll beingin, and remove to greater depths from Indicated in the sois report if such conditions or encountered. Solvaged topsoil shall be mohitofred in stockpiles.

4) Stockpiled topsoil shall arriy be used for finish grading of new town areas. Excess topsoil shall be removed from the site by the Contractor.

5) Protect all existing lawn areas, plantings, and other landscaping to remain in place. Any damaged of the contractors expense.

#### UNFORESEEN OBSTACLES

The Engineer shall be contacted immediately if any unforeseen major obstacles are encountered during excavation, such as abandanced wells, obendenced or functioning utilities, subsurface streams or rock, etc., which would add significant expense to the Contractor.

2) The Confractor shall stift be responsible for completing all work required for this project where encountered conditions may be reasonably determined from a soils/geotechnical report and review of the project site and

#### DEWATERING

Surface drainage shall be provided duling construction in a manner so as not to create a nutrance to adjacent areas.

2) All excavations shall be free of water during construction within the excavations. Devatering shall be occomplished by pumping or trenching, and shall be conducted regardless of the cause, source, or nature of the water.

4) Excavations shall be sloped to drain, and necessary pumps, hoses and other equipment shall be provided to keep excavation free of water.

5) At temporary equipment used for dewatering shall be removed from the site when no longer necessary.

#### FILLING AND GRADING

1) Rough grading of all areas within the construction limits, including adjacent transition areas shall be reasonably smooth and compacted. The rough graded subgrade surface generally shall not be more than 6 inches obove a below the established subgrade elevations. At disches, swales, and gutters shall be graded to drain adequately. The subgrade shall be evently sloped to provide adringe eventy from buffing waits in a directions at an immittance of 1%. The Contractor shall provide rounded transitions at top and bofform of banks and either breaks in grade.

2) fill and backfill moterials shall be inorganic soils free of roots, rocks, boulders, and debris

3] Bedding moterial or granular backfil larger than 2" in its largest dimension shall not be allowed within 2 feet of new underground pipes. Material larger than 3" in its largest dimension shall not be allowed within 1 fact of subgrader feederfor.

4) Imported compacted fill moterial shall have a maximum of 12 percent passing the #200 sleve, by weight. The proposed fill moterial shall be tested by an independent testing tabler, suitability as compacted fill for this project. The Contractor shall pay for the testing services and provide a copy of the fest results to the Engineer.

5) The Contractor shall fill and grade as necessary to bring surface to required elevations, and provide all materials necessary, whether obtained on or off the project site.

6) The Contractor shall place compacted material in uniform horizontal lifts not exceeding 8" in depth for clay sols, and 12" in depth for sandy sols, and compact as required to achieve specified density.

7) Composition shall be obtained with the use of vibralary ration or rammers. During composition, fill material static schildran matter centers, as necessary, for the required composition as indicated by an independent lesting indicated section of matter and interest as the control of the composition of the material section of the control of the

8) Areas designated for poverment in excevated (cut) areas shall be scarified to a depth of 1 foot. The Centro shall bring the subgrade material to aptimum mosture content as indicated by the independent testing laboratory, and compact the subgrade to the specified density listed below for soils underment in poverments.

9) The Contractor shall not place IIII material when either the fill material, or the material on which it is to be placed, is facen. Any soft or yielding areas appearing in the fill resulting from test, rain, or any other reason whatever shall be scarlind, emoved, recompacted and/or altherwise rectified to the satisfaction of the Engineer before any new fill is placed.

#### COMPACTION TESTS

1) Utility Trench Bockfil: The Contractor's independent sols factorican and approved feeling laboratory shall perform implace density and massival tests of random depits in french backfill of 100 feel intends, or fraction thereof. Composition of trenches shall be a minimum of \$5% of the manimum of 40% of the 100 feel of 40% of 40%

2) Compacted Fill Under Pavements: Compaction tests shall not be required beneath new povements. Adequate compaction of materials under povements shall be determined by last rolling the subgrade, and checking for excessive cultims. I set rolling shall be performed as per NNDOT Spec. 21:1.

3) Areas exhibiting a failed compaction test shall be re-compacted and re-tested to the satisfaction of the Engineer.

5) Optimum moisture-density relationship will be determined by testing laboratory in accordance with ASTM D698 and maximum density determination made by Method D of ASTM D698 unless otherwise noted in these paperficiality.

#### SUBGRADE PREPARATION

i) finished subgrade elevations shall be as follows:

a) Bituminous povement: 12th below finish grade

c) Concrete sidewak: 8" below finish grade (plus thickened edge).

al Lawn areas: 4" below finish grade.

el Flantina areas: See Landscapina Flant/Details

2) The talerance for areas to be paved shall not exceed 0.15 feet above or below plan subgrad

3) The Contractor shall protect newly graded areas from erosion. Settlement or washing that occurs prior to acceptance of the Work shall be repaired and grades re-established.

#### DISPOSAL OF EXCESS WASTE MATERIALS

1) The Contractor shall remove excess excavated material, debris, and waste materials, from the Owner's properly and legally dispose of it in accordance with all governing codes.

#### SPREADING TOPS OIL AND FINISH GRADING

1) Scarify subgrade to depth of 3" prior to placing topsol. Spread topsol evenly over complete subgrade as follows:

a) Lown Areas on Private Property: Spread & lightly compacted layer of topsoil.

b) Lawn Areas in Public Right-of-way: Per City requirements

c) Floriting Areas: See Landscape FloryDetails

2) Finish grade accurately within 0.15 feet of finish grades shown on the project drawings, less the thickness of any sod where it is to be installed. Slope all grades away from buildings to provide positive drainage.

5) Frepore topsol suitable to receive seed and/or sod. Grading of areas designated for topsol shall be reasonably smooth and even, and in accordance with NAPOP Spec. 2165,350 and 254,364. All debits and stones exceeding 3" in diametes high be removed from the sol surface of these areas port to seeding. Areas compacted by vehicles or storage of materials shall be proved, disked and horrowed to match testive of other finish graded areas.

4) Gross seed shall be in accordance with ArrDOT Spec. 387A, seed mix No. 25-131, applied of the rate of 220 pounds per acra or as indicated on the landscape plans. Author shall be applied and disconchared to all seeded areas and shall meet the requirements of ArrDOT Spec. 3882, Type 3 or as alterwise indicated by the Engineer.

## UTILITY NOTES

#### STANDARD SPECIFICATIONS

1) The following standard specifications shall apply to this proje

a) Minnasola Mumbing Code- kill Rules Chapter 4714 [Mil Dept. ol Labor and Industry-MilDLI]
b) Uniform Plumbing Code, clieste edition (IPC)
C) Cly Brigners Association of Minnasola (CEAN) Standard Specifications
d) American Socialy for Testing Martisetts (ASIM)
e) American Socialy for Testing Martisetts (ASIM)
e) American Socialy for Testing Martisetts (ASIM)
e) American Nutron Standard for Tallia (ANIM)
e) American Nutron Standard for Minnasola Martine Minnasola Martisetts (ASIM)
e) Minnasola Department of Transportation "Standard Specifications for Construction" (MM/DOI)

2) The Contractor shall comply with all local ordinances and code:

3) Certifications of all utility materials, as well as shap drawings, shall be submitted to the Engineer for review

#### POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS - SANITARY

1] Smooth wolled polyvinyl chloside pipe and fiftings shall contist of SDR 26 or SDR 35 pipe, unless otherwise, and meet the requirements of ASTM D3034 and Section 2621,2A6 of the CEAM Stone

2) All pipe and fittings shall be SDR 35 for depths of up to 20 feet, and SDR 26 for depths exceeding 20" 3) Pipe Join's shall meet the requirements of Section 2621.3A3 of the CEAM Standard Specifications.

#### DUCTILE IRON (DIP) PIPE AND FITTINGS - WATER

1) Ductile fron pipe and fittings shall meet the requirements of Yable 604.1 of the UPC, and Section 2611.2A1 of the CEAM Standard Specifications

Pipe joints shall meet the requirements of Section 606.5 of the UPC, and Section 2611.38 of the CEAM Standard Specifications. Stainless steel fasteriess shall be prohibited.

#### POLYVINYL CHLORIDE (C900 PVC) PIPE AND FITTINGS - WATER

1) Polyvinyi chloride pressure pipe and fittings shall meet the requirements of Table 604.1 of the UPC, and Section 2611,2A3 of the CEAM Standard Specifications.

Pipe joints shall meet the requirements of Section 605.4 of the UPC, and Section 2611.38 of the CEAM Standard Specifications.

#### GATE VALVES - WATER

1) Gale valves shall meet the requirements of Sections 2611.2C and 2611.3D at the CEAM Standard Specifications

HYDRANIS - WATER 1) Hydrants shall meet the requirements of Sections 2611.28 and 2611.3D of the CEAM Standard Specifications

#### BLOCKING AND ANCHORING - WATER

1) Water main blocking and anchoring shall meet the requirements of Section 2611.3A4 of the CEAM Standard Specifications

2) Provide thrust reaction blocking consisting of concrete with a minimum 28 day compressive strength of 2000 psi. Place between undigluibed ground and the fitting to be anchored. Place thrust blocking so that the pipe and fitting joints are accessible for repoir.

4) Maga-Lugs may be used in lieu of thrust black if allowed by local utility.

#### WATER SERVICE PIPE AND CURB STOPS

Copper tubing for water services shall meet the requirements of Table 604.1 of the UPC, and Section 2611.2D of the CEAM Standard Spacifications.

HDPE pressure pipe for water services shall meet the requirements of ASIM D2339, ASIM D2737, ASIM D3035, AWWA C901, CSA 8137.1, and Section 2611.2D of the CEAM Standard Specifications

3) Curb stops for water services Section 2611.2D of the CEA/A Standard Specification:

## HIGH DENSITY POLYETHYLENE PIPE [HOPE] AND FITTINGS - STORM

1) HDPE pipe and fittings shall meet the requirements of ASTAI F2306, and Section 2621.2A8 of the CEAAI Standard Specifications.

2) Pipe joints shall meet the requirements Section 2621.3A3 of the CEAM Standard Specifications

3) Minimum wall folkness shall be 0.035 inches for 12 and 15 inch diameter pipe, and shall be 0.05 inches for 18 and 24 inch diameter pipe.

## POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS - STORM

PVC storm sever pipe and fittings within 10-H of a building and/or water pipe crossing, or when specified or the plans, shall consist of Schedule 40 PVC, and meet the requirements of ASTM D1765, ASTM D2665, and ASTM F794. are Section 2621.28 of the CEAM Standard Secesifications.

JRTa/ther than 10-If from a building and/ar water pipe crossing. PVC storm sever pipe and fiftings may consist at SDR 26 or SDR 35 pipe, unless noted albemuse, and meet the requirements at ASTM D3034 and Section 2621,2A5

3) All pipe and filtings shall be SDR 35 for depths of up to 20 feet, and SDR 26 for depths exceeding 20.

4) Pice joints shall meet the regulæments of Section 2621.3A3 of the CEAM Standard Specifications.

#### REINFORCED CONCRETE SEWER PIPE (RCP) AND FITTINGS - STORM.

1) RCP pipe and Fitings shall meet the requirements of ASTM C76, and Section 2621.2A3 of the CEAM Standard Specifications

2) Pipe joints shall meet the requirements of Section 2621.3A3 of the CEAM Standard Specifications

3) The ASTM strength class of pipe shall be Class III unless otherwise shown on the Plans.

4) The pipe shall be drawn together by some approved method of jacking or winching. This pressure must be maintained until sufficient back!!! is placed to keep the joint from opening.

### END SECTIONS - STORM

i) End sections shall be provided at all pipe inlets and autlets.

2) The end sections shall careist of material motoring the material of the pipe, which if is being connected to. Materials and joint shall be as per the specifications described above for the applicable pipe material.

3) The last 3 joints of RCP shall be fied, and the end section shall be provided with an approved trash guard

#### MANHOLES AND CATCH BASINS - SANITARY AND STORM

1) Unless otherwise noted, manhole and cotch basin structures shall consist of precast concrete, and meet the requirements of Section 719.6 of the UPC (sanitary only), and Sections 2621.2C and 2621.3D of the CEAN Standard Specifications.

2) Catch basins shall be provided with the following castings:

a) Along curbline: 27" Structure: Neenah R-3075-L-48" (or larger) Structure: Neenah R-3067-L

b) isolated (in paved great: Neenah R-2553 c) isolated (in vegetated great: Neenah R-2560-EA w/ type "C" grate

3) Manholes shall be provided with the following castings

#### INSTALLATION

I) Unless otherwise noteo, Installation of all water and server pipe, fiftings, and apputtenances shall be as per the CEAM Standard Specifications.

#### TESTING REQUIREMENTS

1) Water and sever pipe, filfings, and appurionces shall be inspected and tested as per Sections 2611.3E-2611.3H and 2621.3E-2621.3H at the CRAM Standard Specifications.

2) In the event of discrepancies between the testing requirements of the MN Pumbing Code and the CEAM Standard Specifications, the most stringent will govern.

### BITUMINOUS PAVEMENT NOTES

GRANULAR BASE AND SURFACE COURSES

STANDARDS 1) Minnesota Standard Specifications for Highway Construction, most recent edition.

1) Compacted thickness of finished base course: 8"

2) Process material for aggregate base shall meet the regularments of MNDOT Spec. 3138, Class 5. The subgrade shall be tested and observed to the satisfaction of the Engineer prior to placement of aggregate base material. Install base material as required to accommodate new plan grades.

4) Wet base material to approximate optimum moliture content either prior to delivery to job site or as soon as practical other being placed on subgrade.

5) Place in layers not exceeding 4" thickness (loose). 6) Compact with pneumatic or vibrating steel drum ratios.

7) After base course has been graded and compacted, thoroughly well and slush roll with roller unfill aggregates are thoroughly embedded.

## 8) Allow base course to cure for a minimum of 72 hours prior to bituminaus course application.

BITUMINOUS BASE AND SURFACE COURSE 1) Mix Designation Numbers for the bituminous mixtures on this project are per MNDOT Spec. 2360

2) Povement smoothness requirements will be walved for this project. 3) Density for the Eiluminous mixture on this project will be the ordinary compaction method (MNDO)

4) Bluminous Base course shall conform to ArnDOI 2000. Type SPNY63308 and shall be 3 Inches thick offer compaction. Bluminous Surface course shall conform to ArnDOI 2340, Type SPNYEA3408 and shall be 1½ inches thick after compaction.

5) Place no asphaltic mixture when the atmospheric temperature is below 45 degrees and folling, nor should povement be placed under wet conditions.

a) Paving mixture: Uniterm mixture of course aggregate, fine aggregate, mineral filler and asphaltic material.

2) Lay to a smooth surface without segregation of material and attain compaction as early as possible. Commence rolling white the material is hat, Inhihimm spread temperature 250 degrees £1, as soon as it will support the roller without undus displacement or hotifice accepting and continue with a minimum of 866 in maximum has been ottained, no further compression can be attained and at roller marks are eliminated.

3) The completed surface: Smooth, free of pockets that will retain water and shall not vary more than 1/16" per foot not more than 1/4" under a 16 straight edge. Entire surface must arain. No fiat areas are permitted. I) Ferform oil Work in occordance with the applicable requirements of the Minnesota Standard Specifications for Highway Construction

1) Special marking point compound especially for striping bituminous poving in one coat.

4) All surfaces to be pointed must be thoroughly clean and dry.

d) Accurately apply point to the chaik marks, using striping machines, 4" wide stripes.

5) Lay out painted lines with chaik on pavement in accordance with Project Drawings.

7) Apply point in strict accordance with the manufacturer's directions 8) Protect all point from damage by traffic until dry.

#### FIELD QUALITY CONTROL

1) Aggregate Bose Testing:

a) The granular base course shall be test rolled and observed by the Contractor's (ndependent sols technics per MHDOT 2211.3C2 (Quality Compaction Melihad). Once the base course has been tested to the collection of the Federal Property of the Property

b) One mechanical analysis (ASTA) D-422) per 500 cubic yards of base or fraction thereof

2) Billuminous Testing: a) Test temperature of first truck.

b) Ordinary compaction (MNDOT 2360.6C)

#### CONCRETE PAYEMENT, CURB & GUTTER, AND SIDEWALK

#### STANDARDS

1] ACI 318, ACI 315, CRSI, ACI 301, latest adaptions.

2) Minnesota Standard Specifications for Construction most recent edition

#### GRANULAR BASE COURSE MATERIAL

Compacted thickness of finished base: 6' - Concrete Pavement/Aprans
 A'': Concrete Sidewalk

#### 2) Base material shall consist of MNDOT 3149,282 Select Granular Barrow

#### AGGREGATES 1) Coane: MrDOI Spec. 3137.

2) Fine: MnDOT Spec. 3126.

1) Clean, fresh and potable, MnBOT Spec. 3986 AIR ENTRAINING ADMIXTURES

#### 1) ASTM C260. 2) Provide entrainment of 4 - 7 percent by volume.

#### 1) ASTM C150, Type I plus an opproved air entraining agent, or Type IA air-entraining Portland cemer

OTHER ADMIXTURES 11 MrDQ1 Spec. 3113.

2) Calcium Chlonde or materials containing chlorides or nitrates shall not be allowed

#### PROPORTIONING AND DESIGN OF MIXES

11 Concrete Classifications

a) Curb and gutter, sig-formed concrete: MNDOT Spec. 2461, Mix Design 3F32

d) Repair concrete, fast strength concrete: MNDOT Spec. 2301, Mix Design 3A41H

d) Temperatures of all concrete during placement shall be 50-deg F to 90-deg F

b) Sidewalk, aprans, incidental concrete, manual curb & gutter: MNDOT Spec. 2461, Mtx Design 3F52

c) Concrete povements: MNDOT Spec. 2301, Mix Design 3A41

a) 3F32: ½ - 3" slump. 4500 psi. 5-8% air

bi 3F52; 2 - 5" slump, 4500 asi, 5-8% air c1 3A41; 2 - 5" slump, 4500 psi, 5-8% air

CONCRETE PLACEMENT I) Place concrete as soon as possible after mixing. Place before initial set has occurred, and in no event after ill has contained its water content for more than one hour.

2) Avoid avenuarking concrete or allowing concrete to fall unrestricted for excessive vertical distances, and other situations which can couse segregation of the aggregates. 3] Concrete pavements shall be placed in accordance with applicable partions of MinDOT 2301

#### 4) Sidewalks shall be placed in accordance with MnDOI 2521. 5) Curb and gutter shall be placed in accordance with MnDOT 2531 PROTECTION

1) Provide adequate protection against rath, steet and snow before and during placement and finishing of concrete. 2) Protect concrete from premature drying. Provide temporary covering as required. Keep concrete continuously maltit for 7 days.

3) Treat concrete with membrane curing compound in accordance with MnDOT 2531.3G.

 Do not place concrete when the atmospheric temperature is ballow 40 degrees fr. or when the concrete is likely to be subjected to freezing temperatures within 24 hours ofter if has been deposited unless occupate temporary healing is provided. 2) Maintain concrete temperature of 40 to 90 degrees F. for 3 days. Protect from freezing for the following 5 days.

3) No frazen materials may be used in the concrete. Chemicals may not be used to prevent freezing unless approved by the Engineer.

#### 4) Perform all cold weather concreting in accord with ACI 306. HOT WEATHER CONCRETE

COLD WEATHER CONCRETE

1) Do not place concrete when the atmospheric temperature is above 100 degrees F. 2) Maintain concrete temperature of 40 to 90 degrees F. for 3 days. Protect from temperatures over 90 degrees for the following 5 days.

3) Thoroughly wet dry parous surfaces before concreting. 4) Water reducing astroktures with retarding properties are required for all concrete placed when the temperature exceeds 80 degrees F.

#### 5) Perform at hot weather concreting in accord with ACt 305. ENISHING

1) Provide a broamed finish on exterior sidewalks and ramps unless noted otherwise QUAUTY CONTROL

If The Contractor shall hire an independent testing firm to provide the following tests: a) The Independent festing technician shall perform random field festing of the fresh concrete including slump, an content, and femperature, IASTA C143, C173, C231, and C138). One series of the aforementaned leads shall be performed in the first long of concrete.

b) The independent lesting technicion shall cost a set of four compression fest cylinders for the first load of concrete as well as I set for every 100 cubic yards, or fraction instead, of concrete thereafter. Compress that shall be performed on one lest cylinders at 7 days and two fest cylinders at 28 days. The fourth test cylinders had to be retained in the event of failing compression test on the 28-day lest cylinders.

STANDARD NOTES & SPECIFICATINONS

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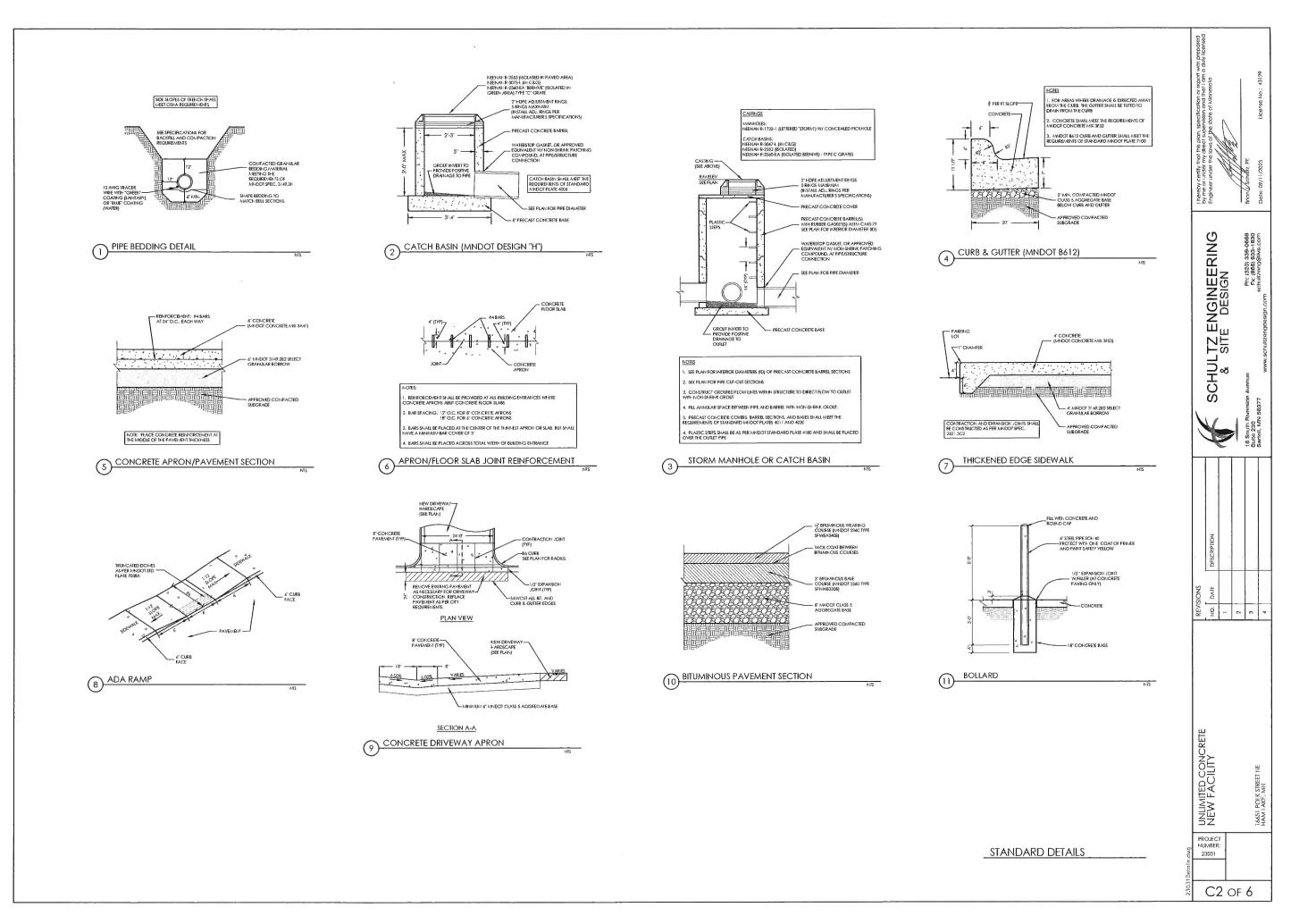
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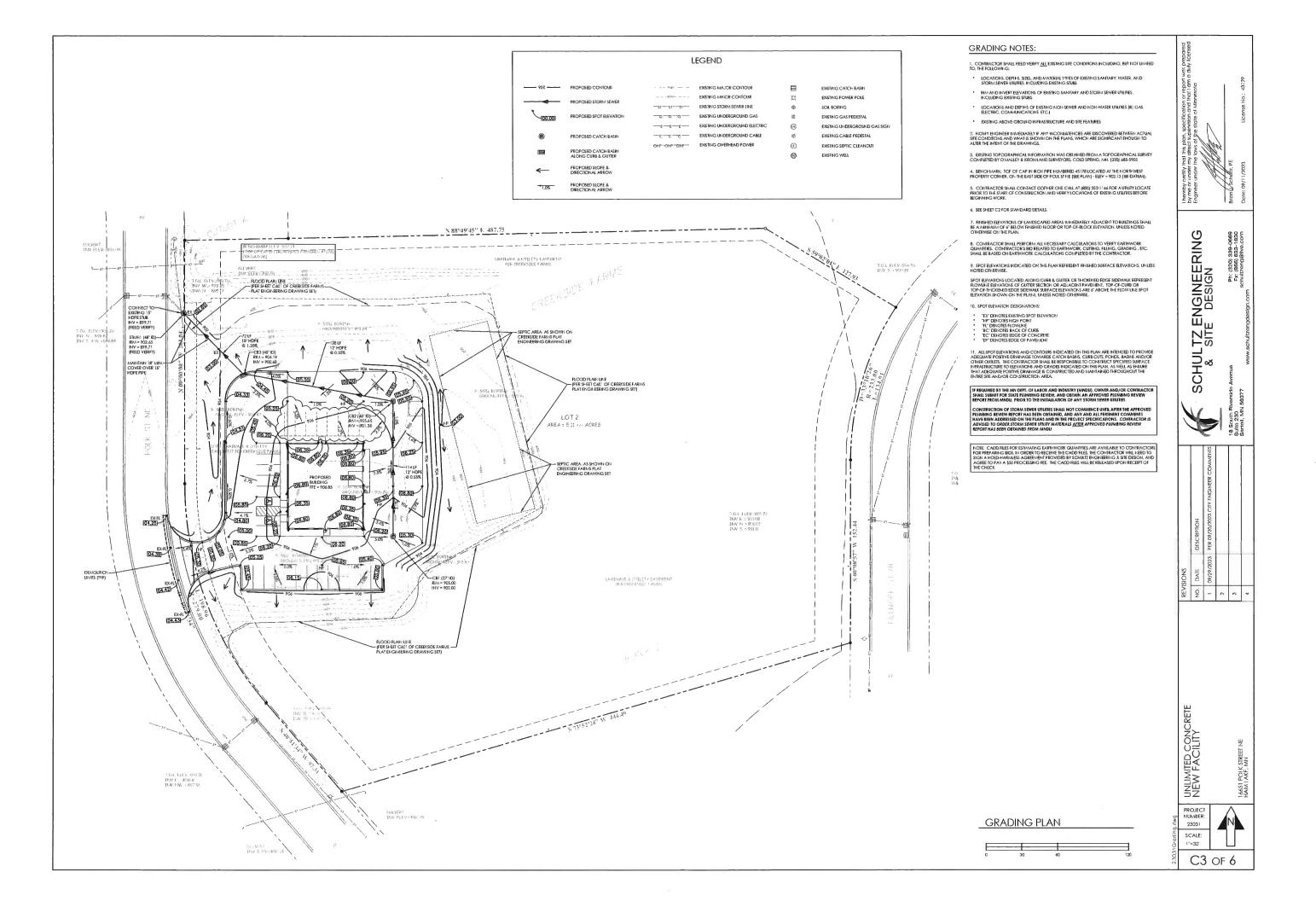
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PROJECT







#### PROJECT INFORMATION

This project will consist of the construction of a new commercial building with an approximate footprint of 4.675 st, as well as parking lot & driveway areas, truck maneuvering areas, and sidewalk.

## Disturbed Area & Impervious Surface Tabulation [within proposed construction area)

Anticipated Disturbed Area	1.1 acres
Existing Impervious Area	0.0 ocres
Proposed Impervious Area	0.68 acres
Net Impervious Area Increase	0.68 acres

#### Permanent Site Drainage

Site drainage will be routed to a regional wet sedimentation pond, to be maintained by the City of Ham Lake, via public storm

The following surface waters could receive storm water runoff from this project, and are within 1 mile of the project site:

Surface Water	Type of Surface Water	Impaired Water?		USEPA Approved TMDL for impaired Water?	Comments
County Ditch 85	Ditch	No	Νο		Distance = 0.2 miles
Ham Lake	Ditch	No	No		Distance = 0,9 miles

#### SEDIMENT AND OTHER POLLUTANTS

This SWPPP has been disigned moinly to provide erosion and sediment control of naturally occurring soils of this site (ie: sands, loams, and cloys). Although his SWPPP does address pollution prevention of other mon-made materials, it is assumed that these makerials will consist of debits from exiting structures and povements to be demosthed, or debits and chemicals (ie: tuels, new points, etc.) resulting from new construction.

There are no known solid wastes or hazardous materials buried below grade at this sile. If such wastes or hazard material discovered during constituction, the SWPP Coordinator (discribed below) will be responsible for notifying the Engineer SWPPP will then be revised to address he presence and disposal of these additional pollutants

#### EROSION PREVENTION AND SEDIMENT CONTROL RESPONSIBILITIES

#### SWPPP Design Engineer and Qualifications

Design Engineer	Brian J. Schultz. PE
Training Course	Design of \$WPPP Recert.
Training Entity	University of Minnesota
Instructor	John Chapman
Dates of Training Course	Spring 2023 (Online Course)
Total Training Hours	7.0

""Design of SWPPP" is a recertification course offered by the University of Minnesote. The Engineer's certification for Design of SWPPP" is current, and will expire May 31, 2026. Certification documentation is on file at the Engineer's office and a now.

#### SWPPP Coordinator and Qualifications

The Contractor shall provide an individual who shall serve as the SWPPP Coordinate for this project. The SWPPP coordinate for this project. The SWPPP coordinate for shall oversee the implementation of this SWPPP, as well as the necessory inspecifons (described below) of evolon provention and sadment control SMPs. The SWPPP Coordinates shall also everse the installation, maintenance, and report of the SMPs to be completed in accordance with this SWPPP. The SWPPP Coordinate shall be expossible for the items stred above during the preject from the stort of the project of the establishment of final statistation. During this profict, this SWPP Coordinate, or their assigned, qualified (see below) representative shall be available for an ensite impaction within 72 hours upon request by the MPCA.

tall be in a Company of the Company in the Company in the Company in a Company in a

\* Typically, the Identity of the SWPPP Coordinator is unknown until the project is awarded. The SWPPP Coordinator may be identified at the project's Preconstruction Conference.

SWPPP Coordinator	
Company Name	(Printed Name)
Office Phone #	acknowledge that I will be serving as SWPPP
Cell Phone #	Coordinator for this project and will be responsible for overseeing the items identified it
Training Course	this section.
Training Entity	
Instructor	(Signature)
Dates of Training Course	
Total Training Hours	(Date)

The SWPPP Coordinator may assign other personnel to supervise or perform the dulles fated above. However, in completing the dulles fated above, at least one person shall be trained in erosion prevention and sediment control as related to that particular part of the SWPPP.

If the SWPPP Coordinator chooses to delegate some of the duffes and responsibilities lated above to other passonnel. a full of the personnel, as well as their quedisculors, shall be kept with and shall become part of this APPP. The queditions shall be documented in a monter similar to the tolder shown dove. A copy of this full shall be provided to the Engineer.

The SWPPP Coordinator shall be responsible for ensuring that the Contractor properly disposes of the temporar sediments control measures within 30 days after site slabifization is achieved or after the temporary measures of the state of th

#### Record Retention

The SWPPP and associated records shall be stated and maintained by an employee or representative of the Owner for 3 years after the submission of the Notice of Termination (NOT). Responsibility for overseeing the records will be transferred to another reprotected representatives should the current personnel become univariety with the project of Owner, these records shall

#### 1). The final SWPPP

- 2). Any other stormwater related permits required for the projec
- 3). Records of all inspection and maintenance conducted during construction
- All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance
- 5). All required calculations for design of the temporary and permanent Stormwater Management Systems

#### BMP INSPECTIONS

The SWPPP Coordinator shall impect, or designate someone else who is qualified to inspect (see above), the construction site erosion prevention and sediment control BMPs per the following time frames:

#### 1). Once every 7 days

2). Within 24 hours of a rain event (1/2' or greater over 24 hours)

Where parts of the construction site have permanent cover, but work remains on other parts of the site, inspections of areas with permanent cover may be reduced to once per month

construction siles have permanent cover on all exposed sail areas and no construction activity is occurring te, the sile must be inspected for a period of 12 months (inspections may be suspended during frozen grou on its like, the sile must be imprecised for a period of 12 months; finspections may be suspended during tratin ground conditions. Following the 12th month of permanent cover with no construction califyily, ispections may be terminated until construction activity is once again initiated as sooner if notified in writing by the MPCA.

3). Where work has been suspended due to frozen ground conditions, the required inspections and mainten begin within 24 hours after runoff occurs at the site or prior to resuming construction, whichever occurs first.

#### Inspection Records

The SWPPP Coordinator shall maintain inspection records during construction. These must be recorded in writing within 24 hours of the inspection and/or maintenance activity. The inspection records shall include the following:

- 3). Findings of inspections, including recommendations for corrective actions
- 4). Corrective actions taken (including dates, times, and party completing maintenance activities)
- 5). Date and amount of any rainfall events greater than 1/2' in 24 hours a). The Contractor shall install and maintain a rain gauge at the construction site in order to verify rainfall amounts.
- 6). It any discharge is observed to be occurring during the inspection, a record of oil points of the property from which there is a discharge must be made, and the discharge that be described (i.e., color, odor, floating, settlied, or suspended solids, from, as there, and other obvious infections of polithring) and photographed.
- 7). Documentation of any changes to the SWPPP made during construction o). If the SWPPP coordinator observes that a BMP tots on a regular basis and believes that it is ineffective, it shall be his/her responsibility to notify the Engineer of such deficiencies. The Engineer may then amend the SWPPP (see "Amending the SWPPP).

Note: Copies of all inspection records shall be submitted to the Engineer.

#### AMENDING THE SWPPP

During the construction of this project if may become necessary to amend this SWPPP. Should the responsibility of installing, inspecting and maintaining the evotion and sediment control devices and techniques described in this SWPPP be transferred from the current Controlator to another Controlator to another Controlator to the Controlator to the Weet Project Support and the updated accordingly. The Owner will date be required to complete an "Permit Modification Form".

Should if be determined, during construction, by the SWPPP Coordinator, Engineer, or Regulatory Officials that deficiencie SWPPP exist, or il significant changes are made to the design/scope of this project that impact exists no revention and sec-control, the Engineer shall be notified immediately. The Engineer will then review potential deficiencies and/or significant changes to project design/scope, and make necessary changes to the SWPPP.

After changes are made to the SWPPP, the Engineer will issue the necessary documentation, reflecting the changes, to the owner and to the SWPPP Coordinator. The SWPPP Coordinator shall be responsible to make sure that this documentation is added to the on-site SWPPP copy and that the changes described in the documentation is implemented on-site.

#### EROSION PREVENTION AND SEDIMENT CONTROL BMPS

Malerials and construction methods of all BMPs included in this SWPPP shall be as per the Minnesota Department of Transportation (MNDOI) i Standard Specifications for Construction, I aleat edition. The Contractor and SWPPP Coordinator sind edition a current copy of MNDOI's Standard Specifications for Construction and formizings themselves with the specification sections applicable to this SWPPP, as there are several BMPs that specifically reference these sections.

The Contractor and SWPPP Coordinator shall be expected to be familiar with the applicable MNDOT specification sections during construction. No additional compensation will be paid to the Contractor for additional work due to unfamiliarity with

#### Undisturbed Areas

If shown on the plan, the Contractor shall defined a areas that are not to be disturbed on the site. This may be done with flags, states signs, still fence, etc., and shall be completed pior to the start of any grading operations. Reparties of the definedation method the Contractor chaoses to use, the Contractor must communicate to his thirt personnel and subcontractors that these areas are not to be disturbed and construction equipment (including trucks and personal vehicles) shall not be allowed in these areas.

The Contractor shall minimize compaction and preserve topsol as much as possible at the site. In pervious ("green") areas that are not essential to the construction of the project. The Contractor shall avoid construction facilities and mointain the existing condition of these areas.

#### Temporary and Permanent Stabilization

All exposed soil areas (including stockples) shall be provided with temporary or permanent cover within 7 days of constructionally (emporary) or permanently coasing in help options of the site. Temporary or permanently defined so as which acid of little or to a surface water, and are within 20 lineal feet of the property fine or surface water shall be provided with temporary or permanent cover within 24 hours of construction. Procreament of temporary or permanent cover shall be initiated immediately upon supersistion or completion of according operations.

#### Temporary Cover:

If the Contractor chooses to half greating operations in a partian of the site (or the whole site) for a period exceeding 7 days, and grading operations (sough or fishing grading) in the affected areas not not yet been completed, temporary cover shall be placed. Affected areas consisting of drainings of these or avalsa connected to, and which, 200 land either of a property line or surface water shall be provided with temporary cover within 24 hours of connection. Depending on the Contractor's schedule the temporary cover shall consist of one of the following BMPs:

a). Discanchared mulch may be used in an area of the site (or the whole site) if the Contractor is halling grading operations for a period that is relatively short, but exceeds 7 days.

#### d). Mulch shall be placed as per MNDOT 2575.3C.

e). All mulch shall be disc anchored as per NNDOT 2575.3D. Prior to the placement and discanchoring of the mulch, the soils shall be loosened and the area smooth-rough graded per MNDOT 2574.

f). Any areas that are exposed as a result of wind action after the initial mulch placement shall be covered with additional mulch to maintain 90% coverage.

#### 2). Temporary Seeding with Mulch

- a). Temporary seeding with mulch may be used in oreas of the site (or the whole site) if the Contractor is halling grading operations for a period that is relatively long. Although mulch still needs to be applied as described above, once the temporary seedingful it is established. The mulch will no longer need to be monitorised. The temporary seedingful will require very little monitorions.
- c). Contractor shall utilize Seed Mixes 21-111, 21-112 or 21-113 per MNDOT Spec. 3874 for temporary seeding.
- d). Temporary seeding shall be sown per MNDOT Spec. 2575.38.
- e). Once temporary seeding has been sown, mulch shall be placed over the area as described above

Permanent Covet:

Upon completion of finish grading and/or placement of topsoil, initiation of the placement of permanent cover shall begin immediately over all exposed areas. This includes areas designated for impervious surfacing (ise buildings, povement/signate) bases, sidewoke, etc.). Where the construction schedule with not body for the placement of the permanent impervious surfacing within 24 hours of the completion of finish grading, these areas shall be stabilized with temporary cover within 24 hours, until the permanent impervious surfacing can be constructed. Affected areas a consisting of driange diches or swades connection of which is a swade sometiment of the permanent involved with permanent and the property fine or surface water, shall be provided with permanent acover within 24 hours of connection.

Areas designated for permanent full establishment shall be provided with one or more at the following BMPs (see plant):

- a). Unless otherwise noted on the plans, all areas designated for turl establishment shall be provided with permanent seeding
- b). In addition to the plan included as part of this SWPPP, the Contractor shall verify it a Londscoping Plan has been included the plans by the Architect. If a Londscope Architect has specified thight audity permanent cover (it is rod. hydroseeding etc.), the Contractor shall provide this permanent cover in sev of the permanent seeding specified in this SWPPP.
- c). Prior to the sowing of permanent seed, the soils shall be loosened and the area smooth-rough graded per MNDOT 2574
- d). Contractor shall utilize Seed Mix 25-131 per MNDOT Spec. 3876 for permanent seeding.
- e). Permanent seeding shall be sown per MNDOT Spec. 2575.38.

- a). Erosion control blanket shall be placed in areas as shown on the plan included in this SWPPP. These areas shall still be provided with permanent seeding, as described above, beneath the erosion control blanket.
- b). Brosion control blanket shall meet the requirements Indicated in MNDOT Spec. 3885. See plan for category(s) of erosion control blanket.
- c). Erosion control blanket shall be installed as per MNDOT Spec. 2575.3G2
- d). Erosion control blanket specified in drainage aftathes and swales connected to, and within 200 fined feet, of a property line or surface water shall be installed within 24 hours of the completion of finish grading fincluding permanent seeding).

- a). Riprap shall be placed in areas as shown on the plan included in this SWPPP.
- b). All riprop shall be undertain with Type 4 geotextile fabric. The tabric shall meet the requirements of MNDOT Spec. 3733 and shall be installed as per MNDOT Spec. 2511.382.
- c). Riprap materials shall meet the requirements of MNDOT Spec. 3601, and shall be Class 3, unless noted otherwise on the alons.
- e). Although it is permitted for the riprop to be placed with machinery, it will be necessary for the Contractor to hand place some of the riprop in order to provide a dense, well-keyed layer of stones with the least practical quantity of void space.
- 1). The minimum thickness of the riprop shall be 18 inches, unless otherwise nated on the plant.
- g). Riprop designated at the end of pipe outlets shall be placed within 24 hours of installation of the pipe outlet end section.
- h). Riprop specified in challage althes and swales connected to, and within 200 lineal feet, of a properly line or surface water shall be installed within 24 hours of the completion of finish grading.

The following sediment control 8MPs shall be implemented as part of this project

#### 1). Sitt Fence

- a). Sit tence shall be installed at the locations shown on the plan included in this SWPPP
- c). Silt fence shall be installed as per MNDOT Spec. 2573.382.
- d). Sit fence shall be installed prior to any upgradent grading operations, and shall remain in place and maintained adequately until upgradient areas achieve Find Stabilization (see below) e). Silt fence shall be repaired or replaced if damaged during, or after, rain events, or if accumulated sediment on the upstream side of the tence reaches 1/3 of the height of the tence. Repair or replacement of silt fence shall be completed
- I). Portions of sit fence may be removed to accommodate short-term activities, such as vehicle passage. Short-term activities shall be completed as quickly as possible, and new sittlifence instated immediately often completion of the short-term activity. I resided is imminent of loss caladd in the next butter, new sitt shot be installed regardless of it me short them activity has been completed or not. The Centractor's additional conceptional with a contractive activity and additional compensation with be paid due to additional compensation with be paid due to additional compensation with a product of the short activities and the state of the short activities and the short activities and the short activities are short as the short activities and the short activities are short as the short activities and the short activities are short as the short activities are short as the short activities and the short activities are short as the short activities and the short activities are short as the short activities are short as the short activities and the short activities are short as the short activities are short as the short activities are short as the short activities and the short activities are short as the short activities and the short activities are short as the short activities and the short activities are short as the short activities are short as the short activities are short as the short activities and the short activities are short as the short
- j). Temporary sol stockples shall be placed on the sile in oracs upgradent from sil fense. Where the Controctor chooses to place temporary to latesplase surviside designated if theread erac. The atockples shall be surrounded by additional at lence. Under no circumstances shall temporary soil stockples be placed over surface waters, curb and gutter, cotch basin culvest fields or outsits, or diches.
- 21. Catch Basin Protection
- WIMCO Road Drain protection devices, as manufactured by WIMCO, shall be used for cotch basin protection on this
  project. WIMCO can be contacted at (952)-233-3055, and their web page is www.roaddrain.com.
- b). "Road Drain top Slab" devices shall be installed at all catch basin localiers immediately after placement of the catch basin structures. "Road Drain top Slab" devices shall termain in place and be adequately mointained until permanent sufacing is constituted dije; cush and gutter, powements, and/or gravet surfacings), in mora designated for that establishment. "Road brain top Slab" devices shall remain in place until Finol Stabilization of all upgradent areas is established.
- c). Upon construction of the permonent surfacing, the "Road Droin Top Slob" devices shall be replaced with the WIMCO product specified on the plans. The WIMCO devices shall remain in place until Final Stobilization of all upgradient areas has been established.
- d). The contractor shall install and maintain the catch basin protection devices as per the manufacturer's instructions and specifications.
- 3). Culvert Inlet Protection
- a). Culvert injet protection shall be provided at all culvert inlet locations immediately after construction of the culvert. See plan included in this SWPPP for culvert inlet locations.
- b). Culveit intel protection shall consist of the SedJacket, as manufactured by SedCatch Environmental Products, SedCatch Environmental Products can be contacted at {93?}+435-5075, and their web page is https://sedcatch.com/colleations/sed
- c). The culvert inlet protection shall remain in place and adequately maintained until Final Stabilization of all upgradient areas has been established.
- d). Culvert intel protection shall be repaired or replaced if domaged during, or ofter, rain events, or if accumulated sear reaches 1/2 of the height of the Sedlacket device (absic. Repair or replacement of culvert intel protection shall be con within 24 hours of discovery.

- 4). Temporary Rock Construction Entrance
- a). Temporary rock construction entrances shall be installed at the localitons shown on the plan included in this SWPPP. See detail for temporary rock entrance design.
- b), If the Contractor chooses to access the site from locations other than where temporary rock entiples, additional temporary rock entrances shall be placed at these locations, as well.
- j. Temporary rock entrance shall be constructed prior to the start of grading operations, and shall remain in place and be adequately maintained until Final Stobilization has been established.
- d). Temporary rock enhances shall be maintained in such a manner that the entrances prevent sediment tracking onto adjacent streets. If a Temporary rock entrance is found to be ineffective, it shall be replaced or improved within 24 hours of discovery.
- e). The Contractor has the option to place Type 4 gealestile (abric beneath the temporary tock enhance. The fabric may extend the fire of the enthance as it will reduce rock sinking into the underlying salts. If the Contractor chooses to use fabric, it should meet the requirements of NNIDOT Spec. 3733 and shall be installed as per NNIDOT Spec. 2811.382.
- I). If sediment tracking from the site is discovered on adjacent streets, the sediment shall be removed with a street sweeper or other approved method within 24 hours of discovery. This shall be done throughout construction of the project. This sediment may be returned on adjaced over exposed oreas of the site, or disposed of this lips in MCX requirements.
- The City may order street sweeping to be performed at the Contractor's or Owners expense if City staff find that construction activities are resulting in sectment or debris being tracked anto City streets.

#### 5). Filter Loas

- c). Filter logs shall be installed as per MNDOT Spec. 2573.3F.
- d). Fifter logs shall be installed immediately after placement of erosion control blankel

a). Filter logs shall be installed at the locations shown on the plan included in this SWPPP.

e). Filter logs shall remain in place for the life of the project, and shall be allowed to degrade naturally

If dewatering of sandy subsols is required for this project, the pump discharge shall be freated prior to discharge off-site or into a suface water. Treatment of discharge shall be achieved with the use of a Dandy Dewatering ago, for approved equivalenth, as monufactured by Dandy Product, inc. Dandy Products, the. can be controlled at [87] 370-141, and their web page is www.dandyproducts.com. The 'Dandy Dewatering Bag' shall be installed, and maintained per the manufacturer's instructions and the perficultors.

Adequate erosion control shall be provided at the point of discharge if it is located in on area with exposed sots or established in This erosion control may consist of temporally placed in a rap, or other approved energy dissipation measures. The type of erosio control measure shall be at the Controllor's discretion, depending on the location of the dewalering discharge and the unique characteristics. The erosion control measures shall be effective and shall be maintained adequately such that no erosion occurs

#### ESTIMATED QUANTITIES

ESTIMATED BMP QUANTITY	ES
TEM	QUANTITY
Temporary Seeding & Mulch	1.1 Acres
Permanent Seeding & Mulch	0.42 Acres
Silt Fence/Sediment Control Log	875 LF
Temporary Rock Constr. Entrance	1 EA
Catch Basin Protection	7 EA
Calegory 20 ECB	455 SY

\* Note: Estimated quantities shown above indicate one application of the associated BMP. Additional qua BMP over what is indicated above may be required for maintenance of each BMP. Good housekeeping by Contractor will BMy result in less quantity required.

### Pollution Prevention Management

Solid waste accumulated during construction, including collected sedment, construction moterials, floating debris, construction debris, paper, plastics, and other solid wastes shall be disposed of in accordance with MPCA disposal requirements:

- Building products that have the potential to feach pollutents shall be maintained under cover (e.g., plastic sheeting or temporary tools) to prevent the discharge of pollutents or protected by a similarly effective means designed to minimize contact with storm variety.
- Patificides, herbicides, inseclicides, ferilizers, frealment chemicals, and landscape materials shall be maintained under cover (e.g., plastic sheeling or temporary roofs) to prevent the discharge of pollutants or protected by similarly effective means relevaned to minimize conduct with Jeannyates.
- wood preservalives, addilives, curing compounds, and acids) shall be properly stored in sealed containers to prevent or other discharge. Restricted access storage areas shall be provided to prevent vandalism, storage and disposal of twister or hazardous materials shall be in compliance with Minn. R. ch. 7045 including secondary containment as appli
- 4). Solid waste shall be stored, collected and disposed of properly in compliance with Minn. R. ch. 7035.
- Portable toilets shall be positioned so that they are secure and will not be lipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. ch. 7041. The Contractor shall take steps to prevent the discharge of spilled or leaked chemicals, including fuel. Itom any one awhere chemicals or fuel with a looked or unlocated including the use of dip pans or stopiotents unless in featible. The Contractor sho conduct fueling in a contained read unless inteatible. The Contractor sho conduct fueling in a contained read unless inteatible. The Contractor sho discharged unless described the production of the contractor should be considered unless that the claim of discharged unless that the claim of the contractor of the con

If the Confractor washes the exterior of vehicles or equipment on the project site, washing shall be limited to a defined area of the site. Ruraff from the washing area shall be contained in a sediment basin or other similarly effective controls and waste from the washing activity shall be properly disposed of. The Confractor shall properly use and store scopy, defergents, or solvents. No engine degreesing shall be allowed on site.

The Contracter shall provide effective containment for all fauld and solid wastes generated by washout operations (concrete, stucco, pain, form release sols, curing compounds and other construction materially related to the construction activity. The fauld and fold washout wastes shall not contact the ground, and the contributionent shall be designed to that if all does not result in runoff from the washout operations or creas. Liquid and sold wastes shall be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout locally that frequires labe personnel to Utilize the proper activities for disposed of

#### FINAL STABILIZATION

Final Stabilization shall be considered established once the following requirements have been achieved:

All set disturbing activities of the site have been completed and all soits are stabilized by a uniform perennial vegetalive on a density of 70 percent of the expected find growth density over the entire pervious surface area, or other equivalent means no to prevent set follower under entire or conditions.

sedimentation basins that are to be used as permanent water quality management basins have been cleaned of any accumulated sediment. All sediment has been removed from conveyance systems and diffiches are stabilized with permanent cover.

#### ADDITIONAL COMMENTS

The Contractor is solely responsible for the cleanup of any wellands, rivers, streams, lakes, reservoirs, other waters of the State (as defined by the MPCA's General Storm Water Fermil), ground or roadway surfaces or other property damaged by construction activity related to this project.

Besides the NPDES permit (MPCA General Storm Water Permit), the Contractor and/or Owner shall also be responsible to obtain necessary faced government permits related to storm water management, and erasion and sediment control, if applicable (see Watershed Stiffer, City, NMDO), feel.

This SWPPP is inlended to provide a plan for addressing the erosion prevention and storm water management issues associated with the project. It is to be used in conjunction with the project plans, specifications, and the MPCA General Storm Water Permit. In addition the SWPPP, the Owner, controlocut, and SWPPP Cookinator shall carriabate thereshes with the actual requirements indicated in the MPCA General Storm Water Permit itself and are responsible for compliance with the permit's terms, requirements, and conditions. The Engineer can provide a copy of the permit upon the quests.

SWPPP - STANDARD NOTES

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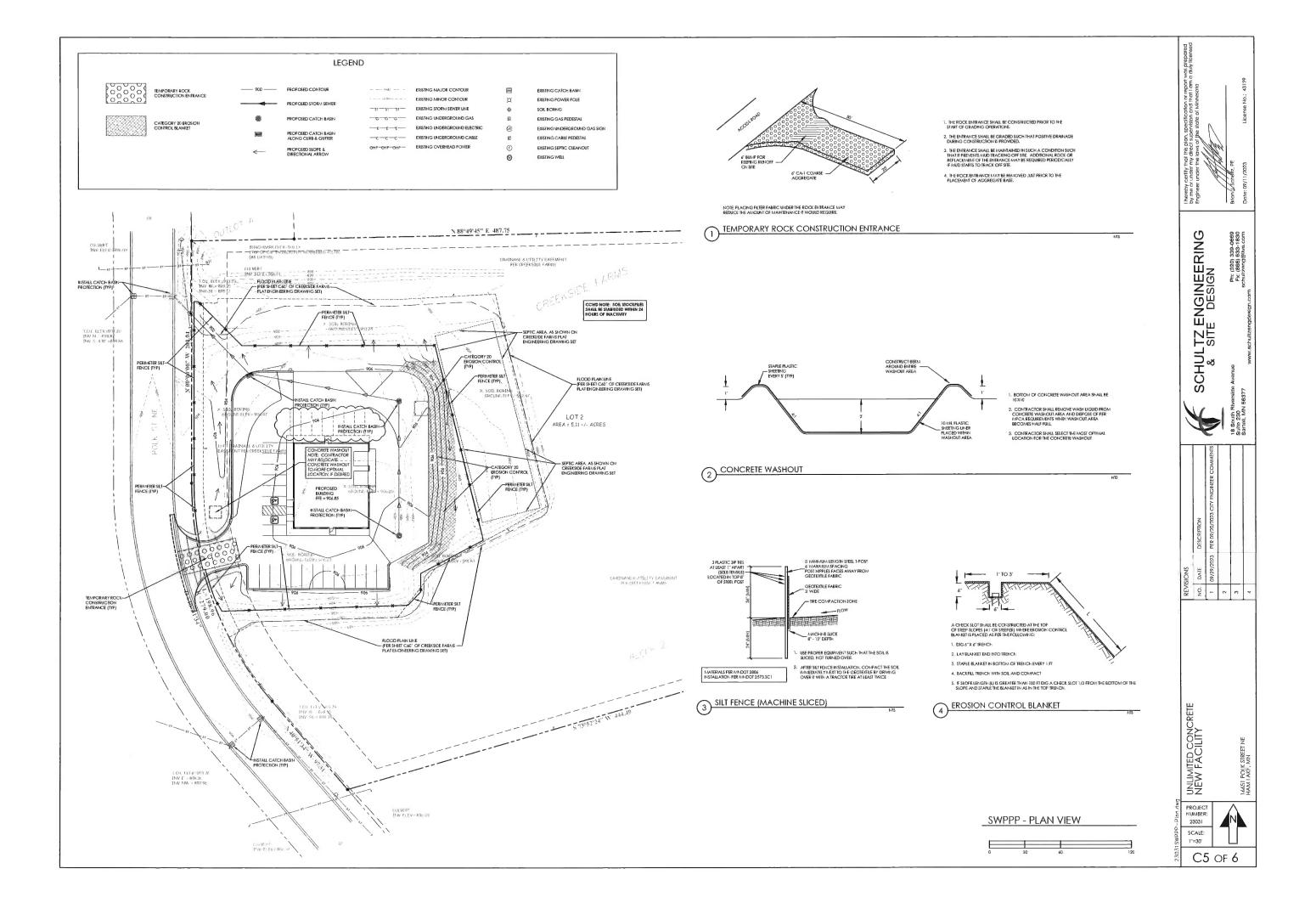
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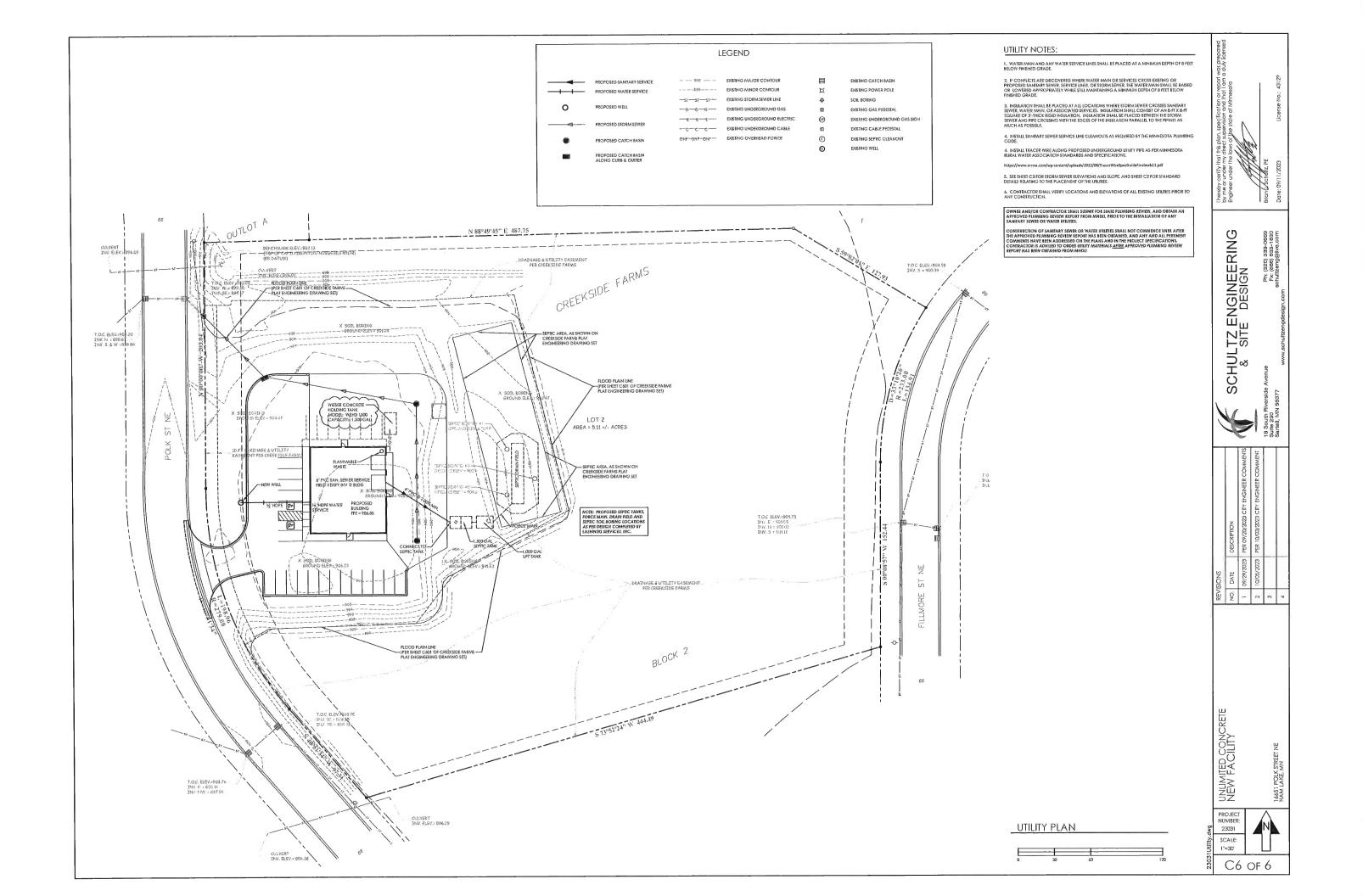
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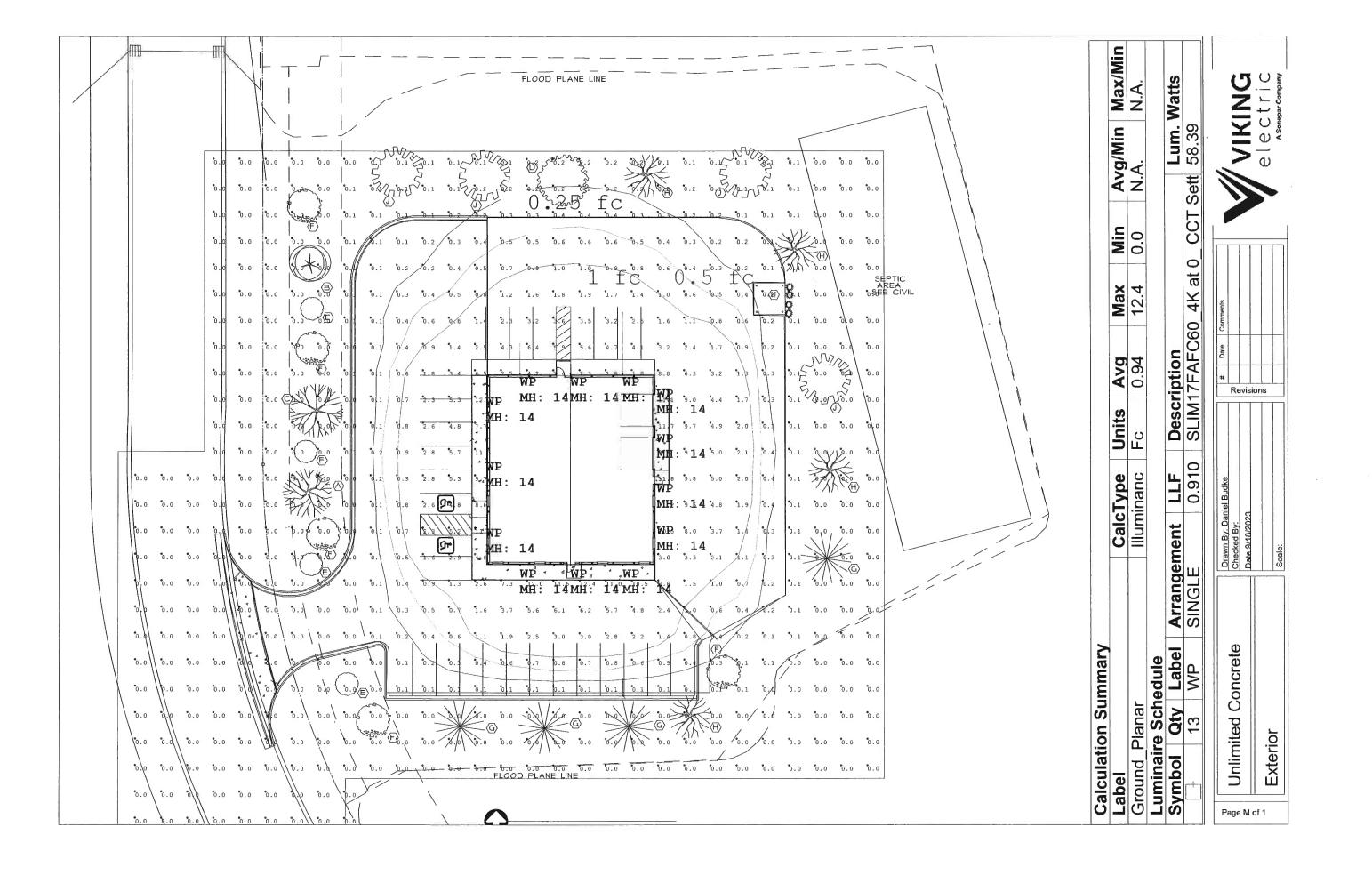
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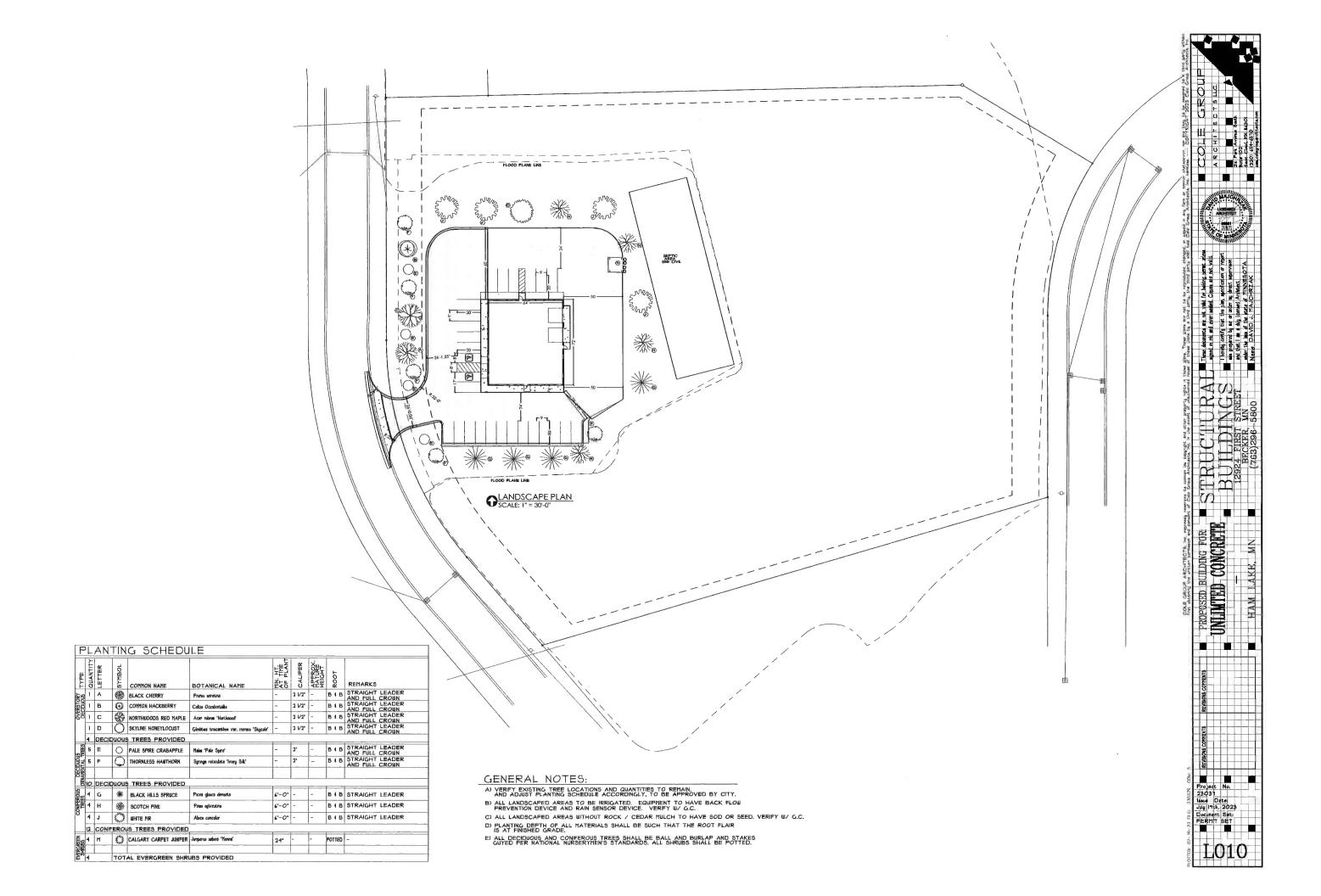
HIMBER

PROJECT









# NEW BUILDING FOR: JNLIMITED CONCRETE

# AKE, MN 55304

# PROJECT TEAM

CONTRACTOR:

STRUCTURAL BUILDINGS, INC. 12924 FIRST STREET BECKER, MN 55308 PHONE: (763) 296-5800

ARCHITECT:

COLE GROUP ARCHITECTS 216 PARK AVENUE SOUTH

SUITE 102 ST. CLOUD, MN 56301 PHONE: (320) 654-6570

STRUCTURAL ENGINEERING:

DUFFY ENGINEERING & ASSOCIATES 350 HIGHWAY 10 SOUTH ST. CLOUD, MN. 54304 PHONE: (320) 259-6575

CIVIL ENGINEERING: SCHULTZ ENGINEERING & SITE DESIGN 18 SOUTH RIVERSIDE AVENUE

SUITE 230 SARTELL, MN 56377 PHONE: (320) 339-0669

# ACCESSIBLE CLEARANCES PENT APPRIADE SPACE CLEMANCE MUST BE CENTURE NUST BE BATHROOM FIXTURE CLEARANCES OF THE CONTROL OF THE C SCHOOL MAN SERVICE STATE OF THE SERVICE STATE OF TH 2'-4' PARALLEL OR PRORT IN APPROACH IN PROPIT CO. CLEAR PLOOR NEA HEAD 4'-0" 4-0 CENTENED ON PROTURE MNOTE: A 40" MPL CLEARANCE IS REQUIRED METHERN ALL OPPOSING MASE CAMMETRY, COUNTERTOPS, MALLS AND APPLIANCES. EXCEPT AT "U" SHAPED INTOHOIS, WHERE IT SHALL BE 40" MRLM KITCHEN FIXTURE CLEARANCES (4C) 14C/

# CODE SUMMARY

## BUILDING DESCRIPTION:

A NEW ONE STORY 2,688 GROSS S.F. STORAGE WAREHOUSE WITH 3,840 GROSS S.F. TWO STORY OFFICE BUILDING.

CODE SUMMARY:

2020 MINNESOTA STATE BUILDING CODE AND RELATED CODES

A. OCCUPANCIES (MNBC CHAPTER 3):
S-I WAREHOUSE (SECTION 311.2)
B BUSINESS (SECTION 304)

MIXED USE OCCUPANCIES (MNBC CHAPTER 5):

SEPARATED OCCUPANCIES, BUT NO FIRE SEPARATION REQUIRED UNDER TABLE 508.4

C. ALLOWABLE AREA PER FLOOR (MINES CHAPTER 5 TABLE 504.2):
ALLOWABLE AREA FOR S-I OCCUPANCY = 9,000 SF ACTUAL AREA FOR S-I OCCUPANCY = 2,688 SF ALLOWABLE AREA FOR B OCCUPANCY = 9,000 SF (PER FLOOR) ACTUAL AREA FOR B OCCUPANCY = 1,924 SF (PER FLOOR)

D. ALLOWABLE HEIGHT (MNBC CHAPTER 5 TABLE 504.3 i 504.4): S-I OCCUPANCY = I STORY / 40'-0"
S-I OCCUPANCY = ACTUAL HEIGHT | STORY - 24'-9"
B OCCUPANCY = 2 STORIES / 40'-0" B OCCUPANCY = ACTUAL HEIGHT 2 STORIES - 22'-0"

TYPE OF CONSTRUCTION (MNBC CHAPTER 4): TYPE V-B (NOT RATED)

FIRE SPRINKLERS (MNBC CHAPTER 9):
NOT REQUIRED PER THE FOLLOWING:

S-I FIRE AREA LESS THAN 12,000 SF (ACTUAL 9,349 SF)
S-I FIRE AREA NOT LOCATED MORE THAN 3-STORIES ABOVE GRADE (ACTUAL: I-STORY)

■ COMBINED S-I FIRE AREA LESS THAN 24,000 SF (ACTUAL: 11,454 SF) TENANTS NOT STORING COMMERCIAL MOTOR VEHICLES
 TENANTS DO NOT CLASSIFY AS A REPAIR GARAGE

TENANTS NOT STORING MORE THAN 20,000 CUBIC FEET OF TIRES (COMBINED)
TENANTS NOT STORING MORE THAN 2500 SF OF UPHOLSTERED FURNITURE OR MATTRESSES (COMBINED)

H. MEANS OF EGRESS (I.B.C. CHAPTER IO):

STORAGE (S-I OCCUPANCY)
GRADE FLOOR: 2,113 S.F. (TABLE 1004.5)
2,113 S.F. / 500 S.F. PER OCC. = 5.5
2 EXITS REQ'D - 2 PROVIDED (TABLE 1004.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE
LESS THAN 100'-0" (TABLE 1004.2.1)

SINESS (B OCCUPANCY)
GRADE FLOOR: 1,381 S.F. (TABLE 1004.5)
1,381 S.F. / ISO S.F. PER OCC. = 9.3
I EXIT REQ'D - I PROVIDED (TABLE 1004.2.I)
MAXMUM EXIT ACCESS TRAVEL DISTANCE
LESS THAN 100'-0" (TABLE 1004.2.I)

SECOND FLOOR: 1,833 S.F. (TABLE 1004.5) 1,833 S.F. / 150 S.F. PER OCC. = 12.2 1 EXIT REQ'D - 1 PROVIDED (TABLE 1004.2.1) MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 15'-O" (TABLE 1004.3.3(2))

21 MAXIMUM BUILDING OCCUPANT LOAD FOR DETERMINING MEANS OF EGRESS

J. PLUMBING FIXTURES: (CHAPTER 29 TABLE 2902.1) PLUMBING FIXTURES - WATER CLOSETS

S-I OCC. (WAREHOUSE - AREAS) 4 OCCUPANTS/2 = 3 EA MEW

| PER 100 = 3/100 = 0:03 MENEN

B OCC. (BUSINESS - AREAS) 22 OCCUPANTS/2 = II EA M&W

| PER 25 = ||/25 = 0.44 MEN | PER 25 = ||/25 = 0.44 WOMEN 0.03 + 0.44 = (I) MEN REQUIRED 0.03 + 0.44 = (1) WOMEN REQUIRED

MEN - I TOILET PROVIDED WOMEN - I TOILET PROVIDED I ADDITIONAL UNISEX TOILET PROVIDED

PLUMBING FIXTURES - LAVATORIES S-I OCC. (WAREHOUSE - AREAS) 6 OCCUPANTS/2 = 3 EA MEW | PER |00 = 3/100 = 0:03 MEN | PER |00 = 3/100 = 0:03 WOMEN

B OCC. (BUSINESS - AREAS) 22 OCCUPANTS/2 = II EA MEW

| PER 40 = ||/40 = 0.275 MEN | PER 40 = ||/40 = 0.275 WOMEN 0.03 + 0.215 = (I) MEN REQUIRED 0.03 + 0.215 = (I) WOMEN REQUIRED

MEN - I LAVATORY PROVIDED WOMEN - I LAVATORY PROVIDED I ADDITIONAL UNISEX LAVATORY PROVIDED

PLUMBING FIXTURES - SERVICE SINKS

REQUIRED FOR THE ENTIRE BUILDING PROVIDED

PLUMBING FIXTURES - DRINKING FOUNTAINS S-I OCC. (WAREHOUSE - AREAS)

4 OCCUPANTS

| PER 1,000 = /1,000 = 0.04

B OCC. (BUSINESS - AREAS) 22 OCCUPANTS

| PER 100 = 22/100 = 0.22 0.04 + 0.22 = (1) REQUIRED

1 PROVIDED

# SHEET INDEX

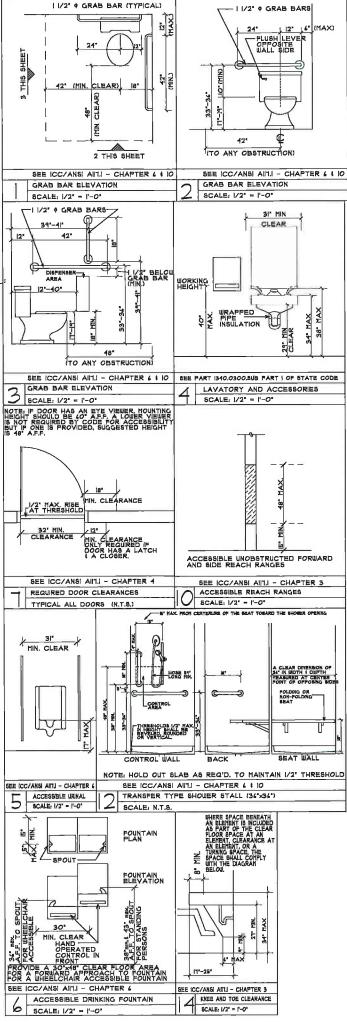
# ARCHITECTURAL:

CODE INFO & ADA DETAILS A001

FLOOR PLANS

FINISH PLAN & SCHEDULES A401 ELEVATIONS A501

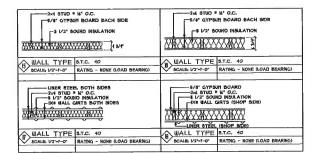
CROSS SECTIONS & DETAILS IOFA



PROPOSED BUILDING FOR UNITED CONCINE



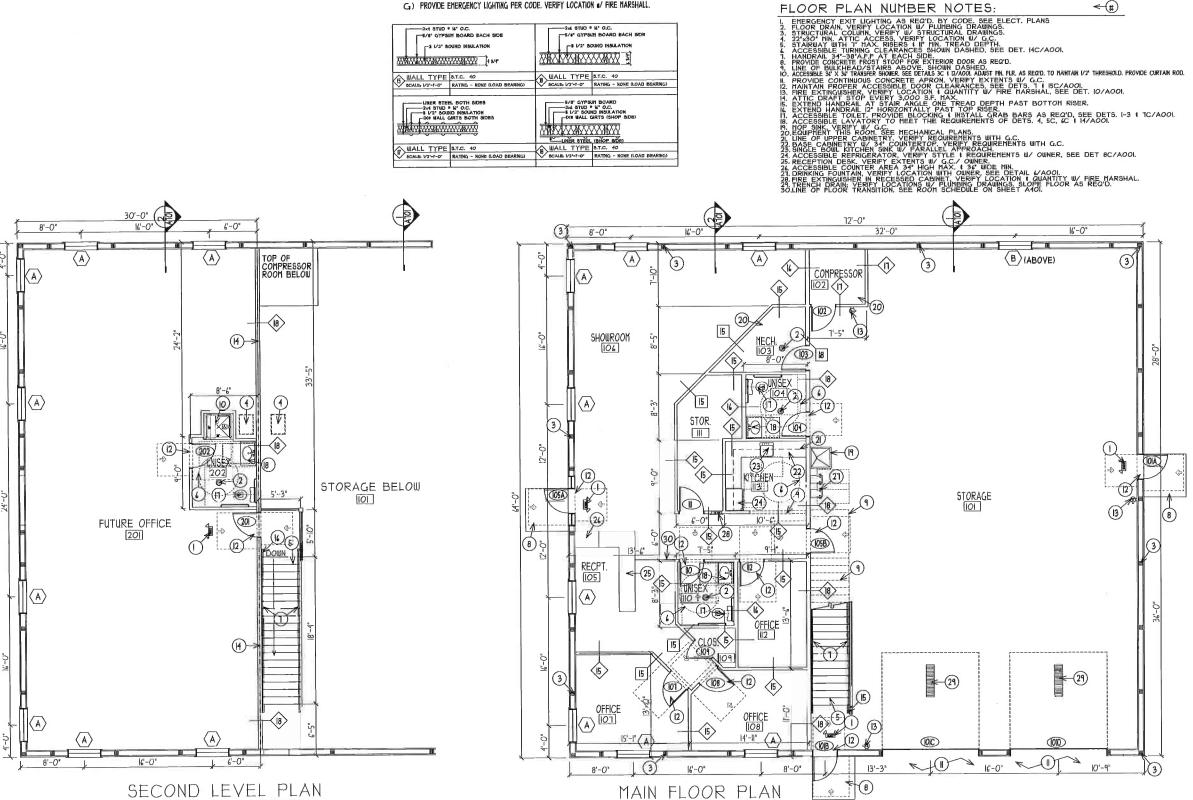
- A) VERIFY FINISHES W/ G.C./OWNER
- B) OFFICE RESTROOMS TO HAVE EPOXY FLOOR, COVE 4' BASE AND F.R.P. 48' A.F.F. ON WET WALLS (MIN.).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION of HRE MARSHALL.
- D) PROVIDE SHOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- E) ALL DOOR HARDWARE TO BE LEVER TYPE.
- F) YERIFY ALL SPECIALTY EQUIPMENT #/ G.C.
- $\mbox{\ensuremath{\mbox{\ensuremath}\ensuremath{\mbox{\ensuremath{\mbox{\ensuremath}\ensuremat$





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SCALE: 3/16"=1'-0"

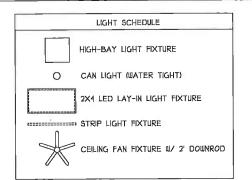
SCALE: 3/16"=1'-0"

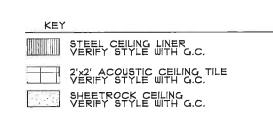


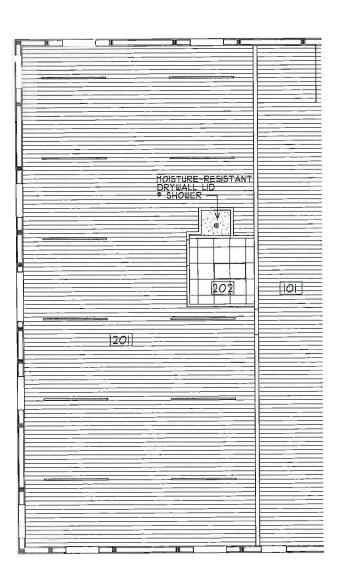
					DOOR	SCHEDULE				
ABEL	QTY.	MFG / MODEL	SIZE	ROUGH OPEN	SLAB MAT.	FRAME MAT.	COLOR	SWING	HARDWARE	REMARKS
(IOIA)	T	PLYCO	3049	-	STEEL	STEEL	-	RHOS	DB, LL	
(IOIB)	1	PLYCO	3049	-	STEEL	STEEL	-	LHOS	DB, LL	-
(ioic)	1	TO BE DETERMINED	12XI2	12'-0" X 12'-0"	STEEL	STEEL	-	-	-	INSULATED
(010)	ī	TO BE DETERMINED	12XI2	12'-0' X 12'-0'	STEEL	STEEL	-	-	-	NSULATED
(102)	1	PLYCO	308	-	STEEL	STEEL	-	LHOS	-	-
(103)	ı	PLYCO	3048	-	STEEL	STEEL	-	LHIS	-	-
(101)	1	PLYCO	3048	-	STEEL	STEEL	-	LHIS	LL, PRIVATE	
(Y5A)		TO BE DETERMINED, ALUM, ST. FRONT	3048	-	ALUM.	ALUH.	-	LHOS	DB, LL	IS' SIDELITE BOTH SIDES
(80)	Ť	PLYCO	3068	-	STEEL	STEEL	~	LHO5	DB, LL	-
(101)	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	LHIS	-	1/2 GLA55
(108)	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	MOOD	-	LHI5	-	V2 GLASS
(101)	1	WOOD FRAME SOLID SLAB	3049	-	WOOD .	MOOD	-	LHOS	- 5	
(10)	1	WOOD FRAME SOLID SLAB	3048	-	MOOD	MOOD	-	RHI5	LL, PRIVATE	-
(II)	1	WOOD FRAME SOUD SLAB	3048	-	ОООШ	ШООП	-	LHI5	-	-
(12)	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD .	-	RHIS	-	I/2 GLASS
(201)	1	PLYCO	3048		STEEL	STEEL	-	RHIS	-	
(202)	1	WOOD FRAME SOLID SLAB	3068	-	WOOD	шоор	-	LHIS	LL, PRIVATE	-

					WIND	OW SCHEDULE				
ABEL	QTY.	MFG / MODEL	SIZE	ROUGH OPEN	MATERIAL	JAMB FINISH	COLOR		REMARKS	
<b>Ø</b>	16	VECTOR/ SLIDER VINYL	48X48	48-1/4" X 48-1/4"	-	-		-		
ூ	1	VECTOR/ FIXED VINYL	48X48	48-1/4" X 48-1/4"	-	I -	-	-		

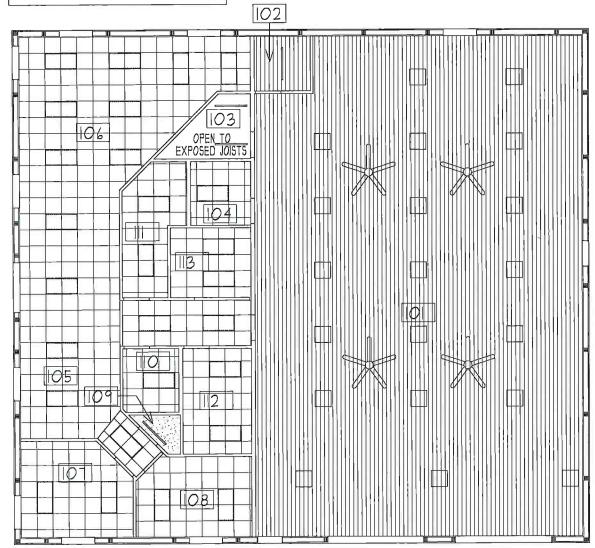
				ROOM	1 SCHEDULE		
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HT	REMARKS
IOI	STORAGE	CONCRETE	STEEL	STEEL	STEEL	16'-0"	
(02)	COMPRESSOR	CONCRETE	STEEL	STEEL.	CDX	-	-
103	MECHANICAL	CONCRETE	4" RUBBER BASE	GYP. FR PLYBOOD	-	-	NO CEILING FINISH
101	UNISEX	PARTIAL FLAKE EPOXY	4' RUBBER BASE	SHEETROCK	ACT-2	8'-10 1/8"	EPOXY PAINT WALLS
105	RECEPT.	CARPET (2X2 SQUARES)	4' RUBBER BASE	SHEETROCK	ACT-I	6'-IO I/6"	-
104	SHOUROON	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-I	8'-10 1/8"	
IOT	OFFICE	CARPET (2X2 SQUARES)	4' RUBBER BASE	SHEETROCK	ACT-I	8'-10 1/8"	-
108	OFFICE	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	ACT-I	8'-10 1/8"	-
101	CLOSET	CARPET (2X2 SQUARES)	4' RUBBER BASE	SHEETROCK	SHEETROCK	9'-1 1/8"	
10	UNISEX	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	8'-10 1/8'	EPOXY PAINT WALLS
Ni .	STORAGE	CONCRETE	4" RUBBER BASE	SHEETROCK	ACT-I	8'-10 1/8'	
lī2	OFFICE	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	ACT-I	8'-IO I/6"	
113	KITCHEN	PARTIAL FLAKE EPOXY	4' RUBBER BASE	SHEETROCK	ACT-2	8'-10 1/8"	
201	FUTURE OFFICE	3/4" CDX	4' RUBBER BASE	SHEETROCK	STEEL	7'-10 1/8'	
202	UNISEX	CERANIC TILE	4' RUBBER BASE	SHEETROCK	ACT-2	1'-10 1/8"	EPOXY PAINT WALLS





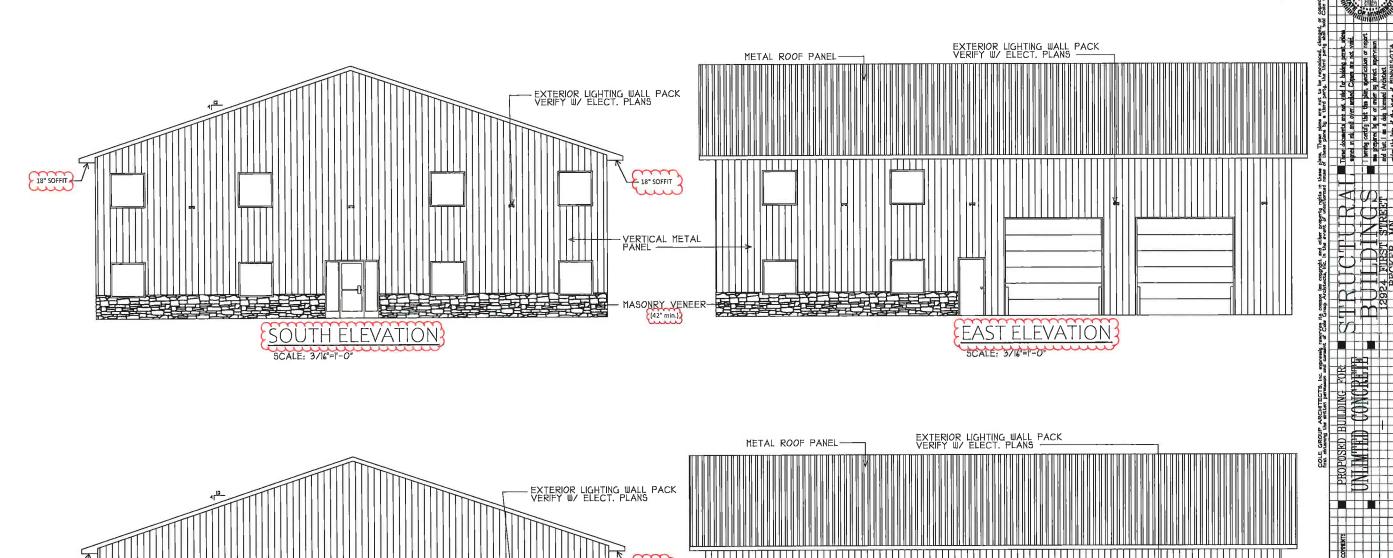


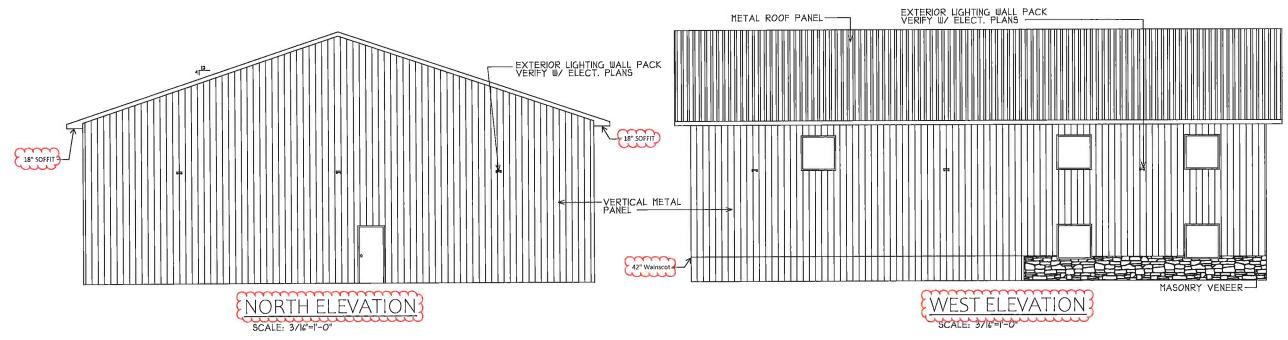
SECOND FLOOR FINISH PLAN
SCALE: 1/8"=1'-0"



FIRST FLOOR FINISH PLAN
SCALE: 1/8"=1"-0"

Project No.
23037
Issue Dete
July 19th, 2023
Document Set:
PERMIT SET A40



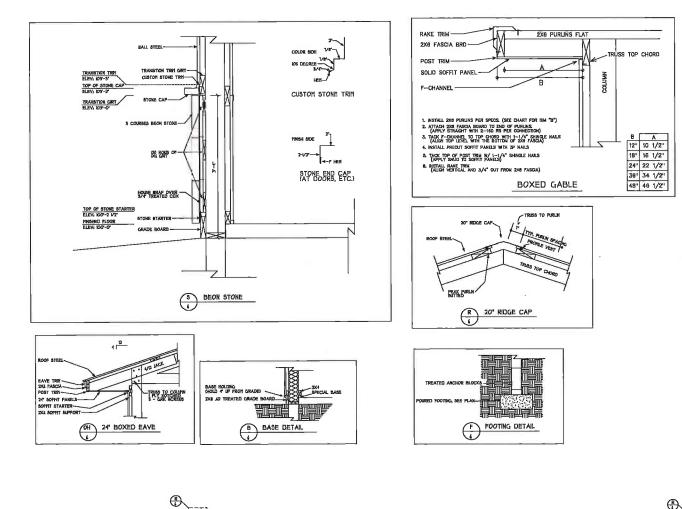


Froject No.
23031

Jave Deter
July 19th, 2023

Document Sets

FERMIT SET



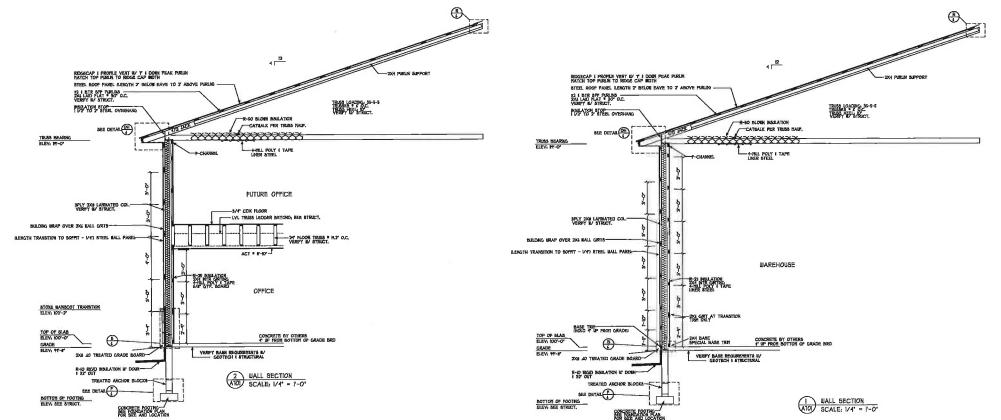
PROPOSED BUILDING FOR UNITED CONCRETE

Froject No.
23037

(sue Deter July 191k, 2023

Document Set:
FERMIT SET

A701





## **NOTICE OF PERMIT APPLICATION STATUS**

**Project:** Unlimited Concrete

**Date:** August 28, 2023

**Applicant:** Unlimited Concrete Concepts, LLC

Attn: Ryan Becker

13739 Lincoln St Ne Ste A Ham Lake, MN 55304

**Permit Application#:** P-23-060

**Purpose:** construction of a new commercial building, parking lot,

driveway and truck maneuvering areas

**Location:** West side of property, 16651 Polk St NE, Ham Lake

At their meeting on August 28, 2023, the Board of Managers of the Coon Creek Watershed District approved the above referenced project with 4 conditions and 0 stipulations. **This is NOT a permit.** 

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

#### Conditions:

- 1. Submittal of a performance escrow in the amount of \$2,550.00.
- 2. Update the erosion and soil control plan to include a note that soils and soil stockpiles will be stabilized within 24 hours of inactivity.
- 3. Provide proof of NPDES permit application.
- 4. Provide an explanation and details of the diesel pump station and containment system that ensures any potential leaks or spills are mitigated. Explain how spills and/or leaks will be addressed to avoid diesel fuel from draining to the adjacent ditch system.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,

Erin Edison

Watershed Development Coordinator

un Ednon

cc: File P-23-060

# Excerpt from Article 9 of the Ham Lake City Code

9-220 Mercantile Districts The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

## 9-220.1 Standards Common to All Mercantile Districts

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) Paving All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- **b) Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- **c) Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) Setbacks for Paved Areas There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) Buffering When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- parking Lots and Lighting Off-street parking shall be provided for the general public and employees. The Zoning Officer shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or

combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

- h) Off-Street Loading All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.
- i) Signage All signage shall conform to the provisions of Article 11-300.
- j) Special Considerations Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.
  - i) The departure is not being requested for purely economic reasons;
  - ii) The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;
  - **iii)** The business is a permitted or conditional use in the zoning district;
  - iv) The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like:
  - The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;
  - vi) The property contains unusual accessibility problems to or from adjacent roadways;
  - vii) The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

k) Outside Storage Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.

# 1) Definitions

- aa) Outside Storage personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.
- **bb)** Inventory goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.
- Vehicle **Inventory** – Automobiles. Trucks. cc) Trailers. Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

- dd) Aesthetically Screened Outside Storage Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.
- **ee)** Limited Outdoor Displays Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours."
- **ff) Improvement Stores** Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.
- gg) 24-Hour Convenience Stores Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.
- **hh)** Approved Property Lines Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.
- ii) Pool Stores retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).
- jj) Screened Outside Storage is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

#### 2) Permitted Outside Storage

- vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.
- **bb)** Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.
- cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.
- dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.
- **ee)** No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.
- ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:
  - 1) Pool water must be maintained in a sanitary condition;
  - Below ground pools must be surrounded by codecompliant fencing;
  - 3) Above ground pools must be constructed in a codecompliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
  - 4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;

- 5) Reasonable screening from outside view shall be installed;
- All sources of water and electricity shall be connected to the pools in a code-compliant manner;
- 7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
- Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;
- gg) Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:
  - Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
  - 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

- **hh)** Revocation All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.
- 3) Office/Warehouses Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity. or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the Office/Warehouse is to

be constructed contains restrictions on building materials or design, those restrictions must be followed. No outside storage unless permitted by Conditional Use Permit, Temporary Conditional Use Permit, or by the given zoning district in which the Office/Warehouse is constructed.

#### 9-220.3 Commercial Development II (CD-2)

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

#### a) Standards for Site and Building Construction

- i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.
- ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.

# b) <u>Permitted Uses (Including uses that are ancillary to the main use)</u>

- All Permitted Uses in the CD-1 District
- Broadcasting Studios
- Building Supply Yards/Lumber Yards
- Enclosed Storage and Office/Warehousing
- Landscaping Businesses
- Manufacturing involving no non-enclosed storage
- Public Utilities (metal or pole type construction allowed)
- Research laboratories
- Used Vehicle Sales limited to the following:
  - ATV's (all-terrain vehicles)
  - Automobiles
  - Boats
  - Campers

- Golf Carts
- o Motorcycles, Motorbikes and Scooters
- Recreational Vehicles
- o Snowmobiles
- o Commercial Trucks
- o Pickup Trucks
- o Trailers less than 30 feet in length
- Utility Companies

#### c) Conditional Uses

- All conditional uses or temporary conditional uses in the CD-1 District
- Construction Service Contractors such as Concrete Masonry, Roofing, Siding, and Landscaping Contractors
- Flea Markets under Article 11-1500
- Kennels
- Pawn Shops under Article 11-1300
- Truck Terminals as defined as a location where commercial trucks load and unload cargo on a regular basis with Large Truck and Equipment Repair (Body and Driveline Repair) as a secondary use
- Self-storage facilities, but not including the limitations and conditions imposed for such facilities as found in Article 9-220.2 (c).

#### **Excerpt from Article 11 of the Ham Lake City Code**

#### 11-1800 LANDSCAPING IN COMMERCIALLY ZONED AREAS

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

<u>11-1810 Landscape Plan Required</u> No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

<u>11-1820 Installation Required</u> No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

<u>11-1830 Time for Submission</u> The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

#### 11-1840 Contents and Specifications

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- **C.** Areas of decorative rock, identifying type of rock;
- **D.** Areas of lawn:
- **E.** Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

#### 11-1850 MINIMUM LANDSCAPING REQUIREMENTS

<u>11-1851 Paved Surfaces</u> All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

- 11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;
- **A.** Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- **B.** Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- **B.** The use of conifers shall be encouraged and preferred.
- **C.** Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

#### 11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial

relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.



### CITY OF HAM LAKE

15544 Central Avenue NE Ham Lake, MN 55304

Phone (763) 434-9555 Fax

Fax (763) 235-1697

i none (702	) -33333
Date of Application 10-9-7023	Date of Receipt
Meeting Appearance Dates: Planning Commission	
Please check request(s):  Metes & Bounds Conveyance Sketch Plan Preliminary Plat Approval* Final Plat Approval Rezoning* Multiple Dog License*	Commercial Building Site Certificate of Occupancy Home Occupation Permit Conditional Use Permit (New)* Conditional Use Permit (Renewal) Other
*NOTE: Advisory Signage is required for land use alterations and future road connections.  This application also requires a Public Hearing. Such fees shall be deducted from deposit.	
Development/Business Name: Mr. Development/5 2.L.C	
Address/Location of property: Co. KD. 68	
Legal Description of property:  PIN # 04-32-23-14-0001 Current Zoning RA Proposed Zoning  Notes: Concept Plan for 105.16 acre parcel  47 Residential Single Family lots and lout lot	
Applicant's Name: JEFFRY 1. STAlburger	
Business Name: Mr. Darelopments LLC	
City Anderes StateMa. Zip Code 55 304	
	, ,
Phone Cell Phone	799-1471 Fax
Email address	
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run untilyall of the required items have been received by the City of Ham Lake.	
	DATE 10 - 9 - 2023
- FOR STAFF USE ONLY -	
ACTION BY: Planning CommissionCity Council	PROPERTY TAXES CURRENT YES NO
orty council	INCILITION INVESTIGATION INCILITION INCILITI



Office (763) 862-8000 Fax (763) 862-8042

#### Memorandum

Date:

October 19, 2023

To:

Planning Commissioners

From:

David A. Krugler, City Engineer

Subject:

Dosedel Parcel Sketch Plan

#### Introduction:

The proposed 47 lot residential development is located on the 110.69-acre 04-32-23-14-0001 parcel. The parcel is currently zoned of Rural Single Family Residential (R-A) and the proposed zoning is all Single Family Residential (R-1). A 500-scale aerial photo, 400-scale half-section map and a 1,000-scale zoning map are attached.

#### Discussion:

Swedish Drive was designated as an MSA route as part of the Crosstown Shopping Center project which is attached. The alignment of Swedish Drive is in general compliance with the thoroughfare plan, which has a future connection to 181<sup>st</sup> Street and Baltimore Street which is attached. The minimum design speed of Swedish Drive is 30 mph, which requires a minimum radius centerline of 312 feet. The centerline radii shown meets that requirement.

Xylite Street is under the jurisdiction of the Anoka County Highway Department. The attached Figure 32 of the ACHD 2040 Transportation Plan identifies CR 68 (Xylite Street) from Crosstown Boulevard to CSAH 22 (Viking Boulevard) as a major collector. Anoka County Highway Department (ACHD) comments are to be provided on the following:

- Proposed connection to the County jurisdiction roadways/intersection spacing.
- Whether right turn lanes and/or bypass lanes will be required.

The 04-32-23-13-0003 parcel is separate from the sketch plan and does not show right-of-way dedication for Swedish Drive. A separate document providing right-of-way from the owner will be required. The 04-32-23-13-0005 parcel shows an overlapping area with the Swedish right-of-way which will need documentation that there is no conflict or dedication from the owner for a 66-foot road right-of-way.

Per the attached Proposed Municipal Bike Trail System exhibit from Anoka County, Xylite Street is not designated as a bike path. However, the City Park Maps for both Ham Lake and East Bethel identifies Xylite Street/Greenbrook Drive as a future Bike Path. Woodland Bluffs 2<sup>nd</sup> or 3<sup>rd</sup> Addition have not dedicated a bike easement with their respective plats. Per correspondence with Public Works Superintendent John Witkowski, it was recommended that parkland dedication fees be collected rather than dedication of parkland or trail easements.

Urbank Street is extended from the Woodland Bluffs 2<sup>nd</sup> Addition (attached). The temporary cul-de-sac right-of-way will need to be shown to be vacated. An exhibit showing the location of

utilities will be required to verify that there are no utilities in what is to be considered for vacation.

The Sketch Plan includes a 5.33-acre Outlot on the east side of Xylite Street. This reduces the land area of the 47 lots to 105.36 acres. The Outlot will need to be combined with an adjacent parcel 04-32-23-11-0001 (17943 Xylite Street), 03-32-23-22-0003 or 03-32-23-23-0002 (17833 Xylite Street). The Development Agreement will include conveyance of the Outlot to an adjacent property.

FEMA Letter of Map Amendments will be needed for Lots 8, 9, 13, 14, 15, 20 and 21 of the lots north of Swedish Drive. Lots 8 and 9 east of Waconia Street and Lots 4, 5, 6, 7, 9, 10, 11, 12 and 13 west of Waconia Street.

Swedish Drive is the jurisdictional boundary between the Coon Creek Watershed District (CCWD) and the Upper Rum River Watershed Management Organization (URRWMO). The parcels are within a drainage sensitive area, however since they will be regraded, this will be removed when the plat is completed. Parcels 4, 6, 12 and 13 are adjacent to County Ditch #58 which will require a 100-foot easement (50-foot either side of the centerline). The City of Ham Lake waived Wetland Conservation Act jurisdiction to CCWD for that portion of the project located outside of the CCWD boundary. That portion of the plans outside of the CCWD will be reviewed for compliance with the URRWMO Watershed Management Plan. A MnRAM will need to be submitted to ensure proper wetland setbacks are adhered to.

The Natural Resources Inventory and Assessment (NRIA) completed in 2008 by the Anoka Conservation District (Appendix S of the Storm Water Pollution Prevention Plan) does not identify any portion of the proposed development area as being within a Major Natural Resource Concentration per the attached Map 3. A Natural Heritage Information System data review by the DNR will be required to determine whether any state-protected species may be located within the plat boundary.

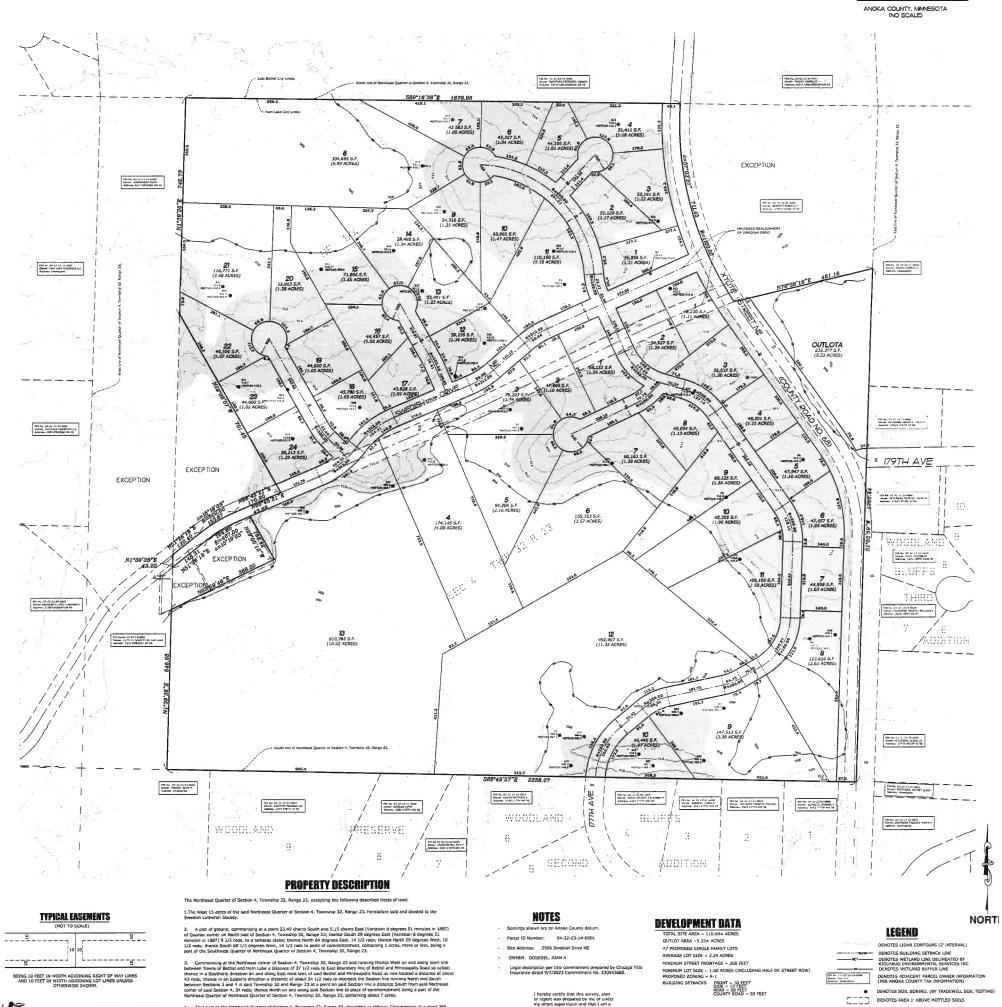
#### **Recommendations:**

It is recommended that the Dosedel Parcel Sketch Plan be recommended for approval.



~of~ DOSEDEL PARCEL ~for~ MN DEVELOPMENTS, LLC. 17404 WARD LAKE DRIVE NW ANDOVER, MN 55304 (612) 799-1471





E. G. RUD & SONS, INC.

137, 507 Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

4. That purt of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet 8xis and 732 feet North of the Southwest conner of said Northeast Quarter; thence Northeasterly along the center of the hand 424 feet; thence Northeasterly 701 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of Degianing.

5. Commencing at a paint 1350.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thereto South 25 degrees East for 136.75 feet; thereto South of degrees Weis, for 187.4 feet; thereto South South East for 187.4 feet; thereto Sou

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Date: 10/05/2023 License No. 41578

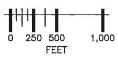
GRAPHIC SCALE

100 0 50 100 200 400

1 INCH = 100/PERT

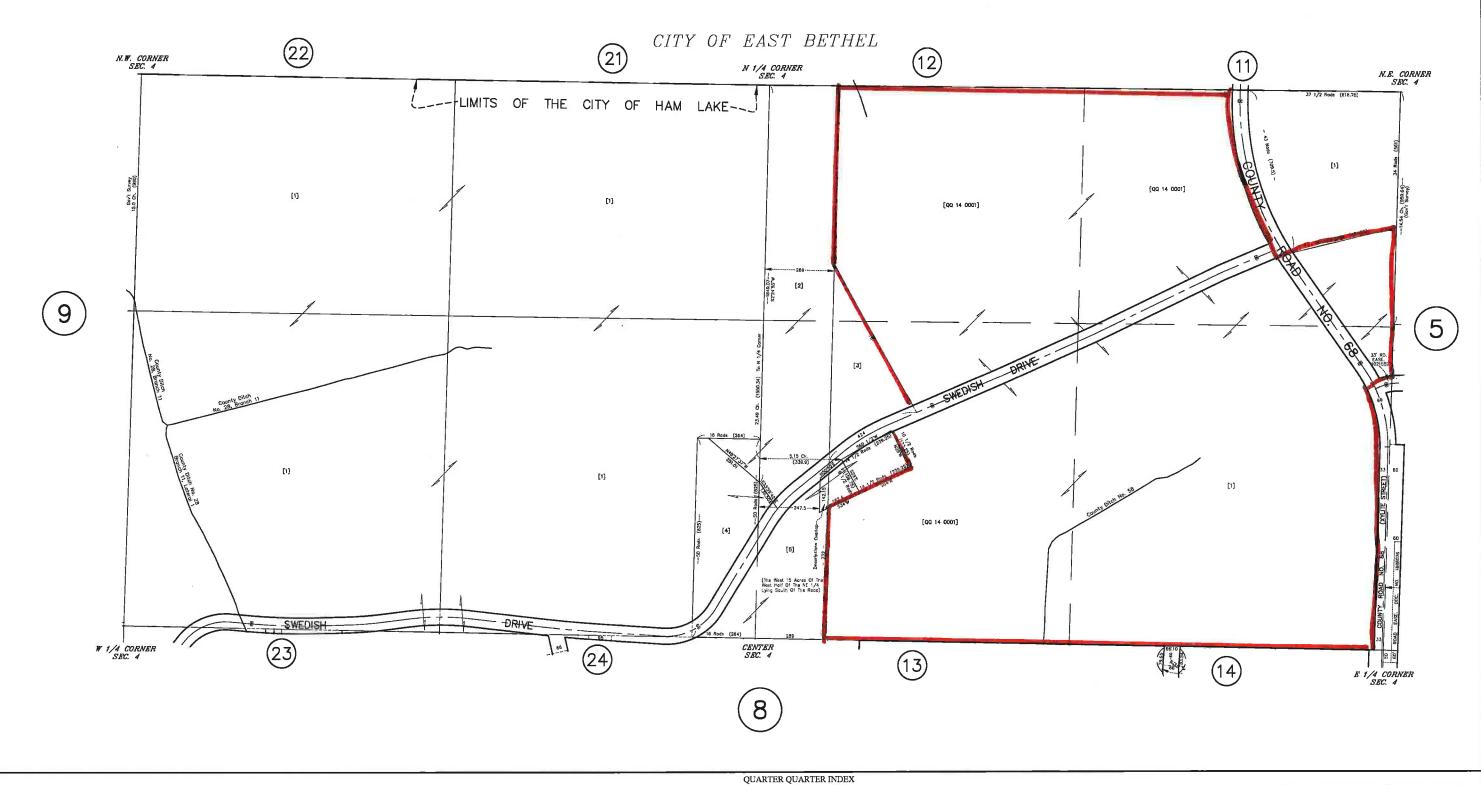






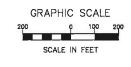
# N 1/2 SECTION 4, T. 32, R. 23

CITY OF HAM LAKE

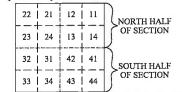


V SURVEYOR

222
S



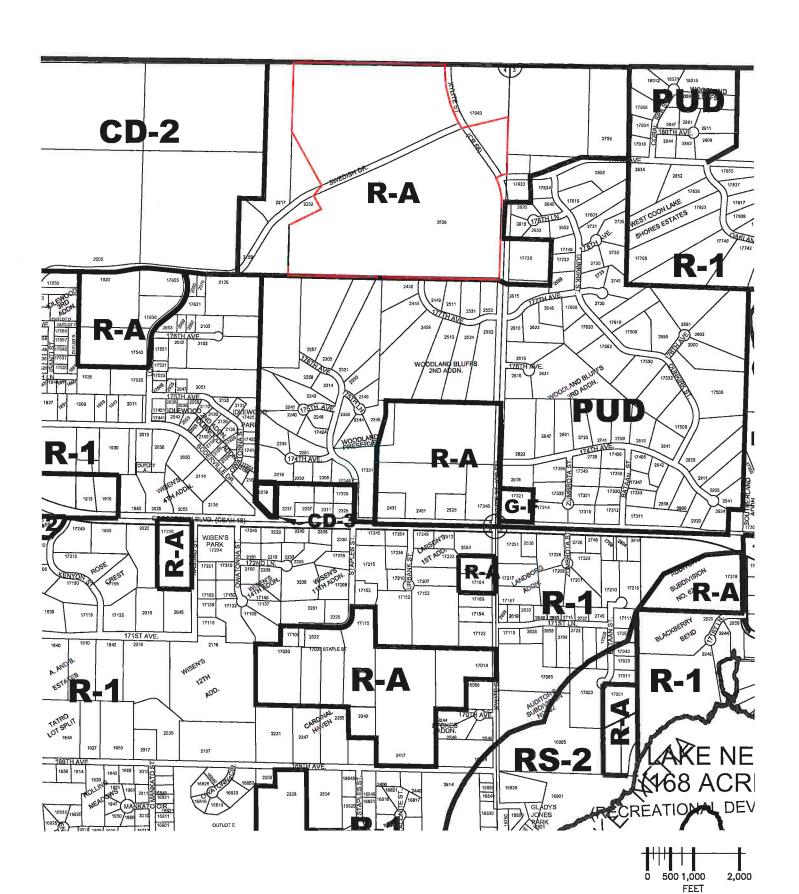
ANOKA COUNTY SURVEYOR'S OFFICE ROOM 224 2100 3RD AVENUE ANOKA, MN 55303 (763) 324-3200

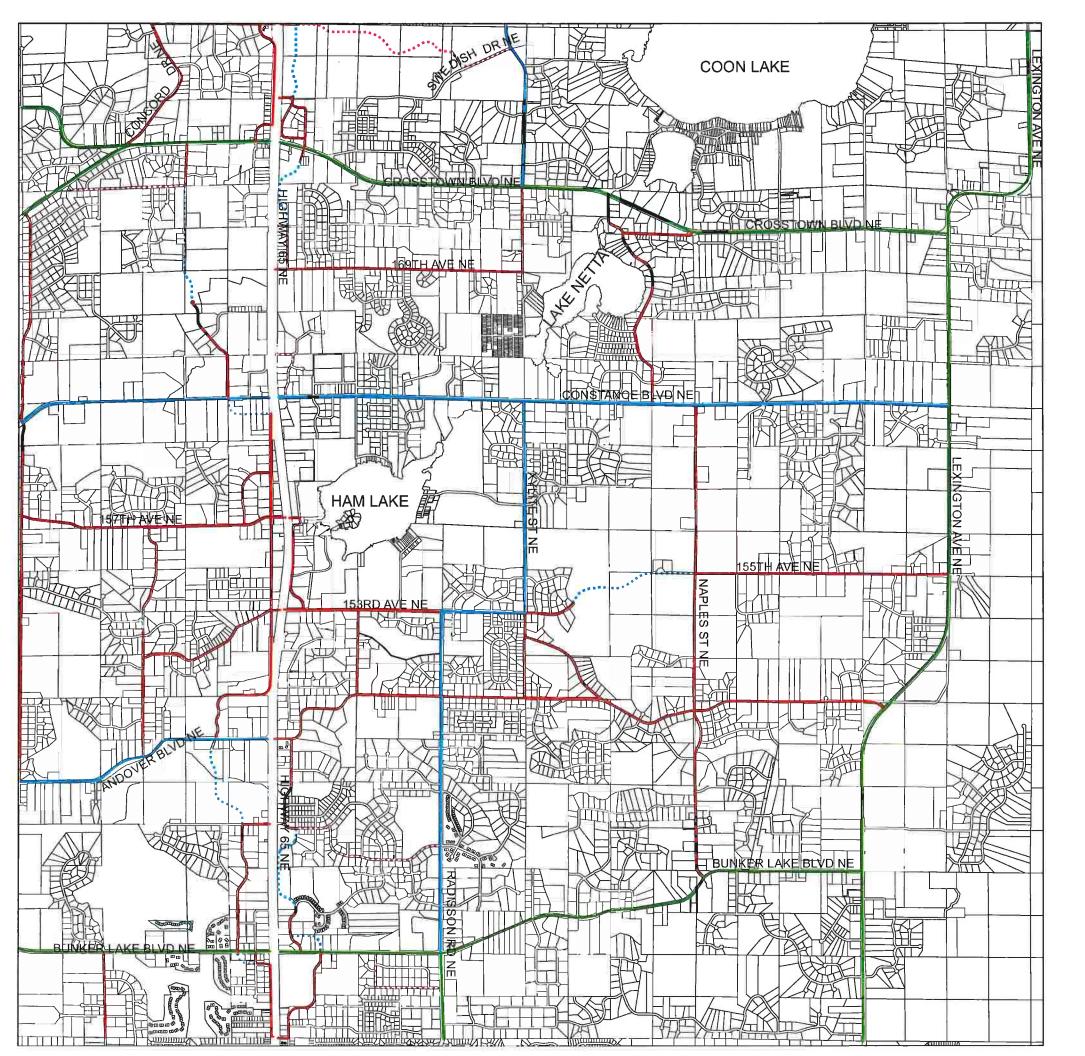


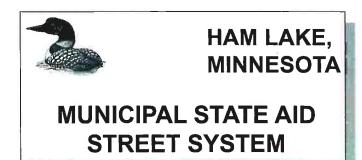
#### PROPERTY IDENTIFICATION NUMBER

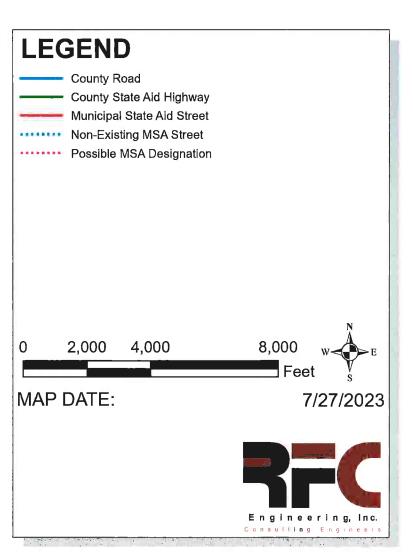
SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1] EXAMPLE OF PIN NUMBER: 04-32-23-13-0001

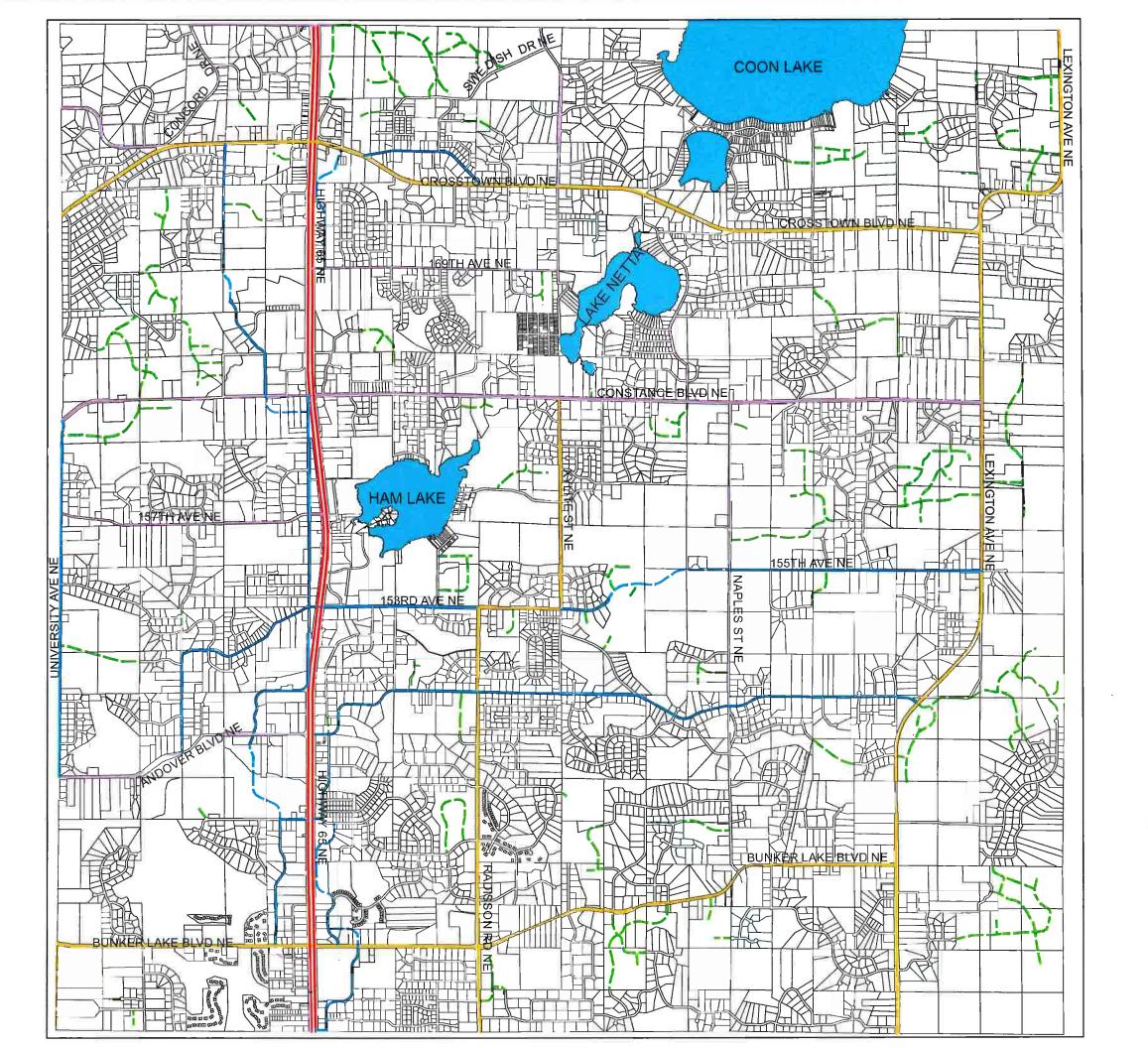
THIS IS A COMPILATION OF RECORDS AS
THEY APPEAR IN THE ANOKA COUNTY
OFFICES AFFECTING THE AREA SHOWN.
THIS DRAWING IS TO BE USED ONLY FOR
REFERENCE PURPOSES AND THE COUNTY
IS NOT RESPONSIBLE FOR ANY
INACCURACIES HEREIN CONTAINED.













### HAM LAKE, MINNESOTA

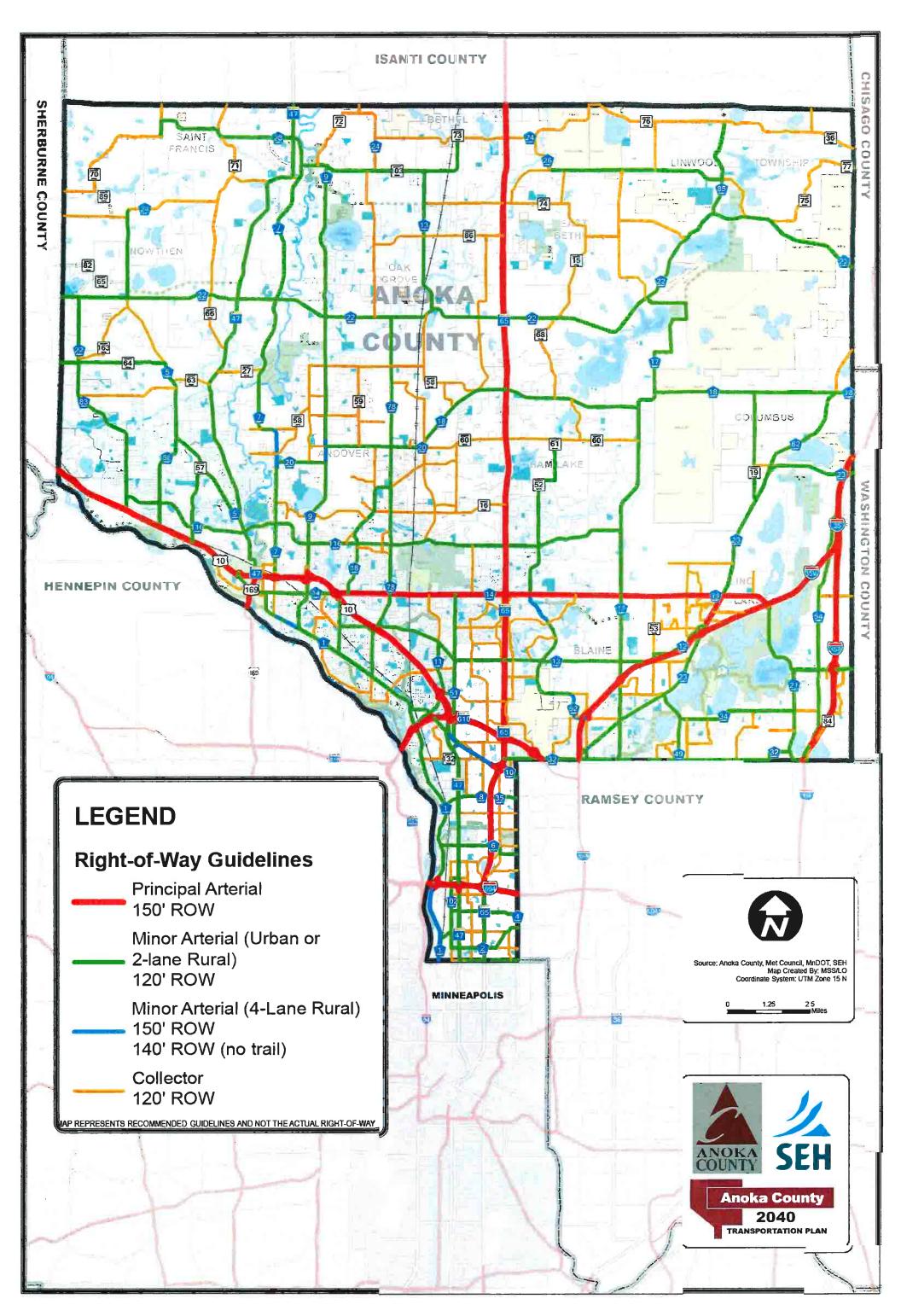
# FUTURE ROADWAY CLASSIFICATION

### **LEGEND**

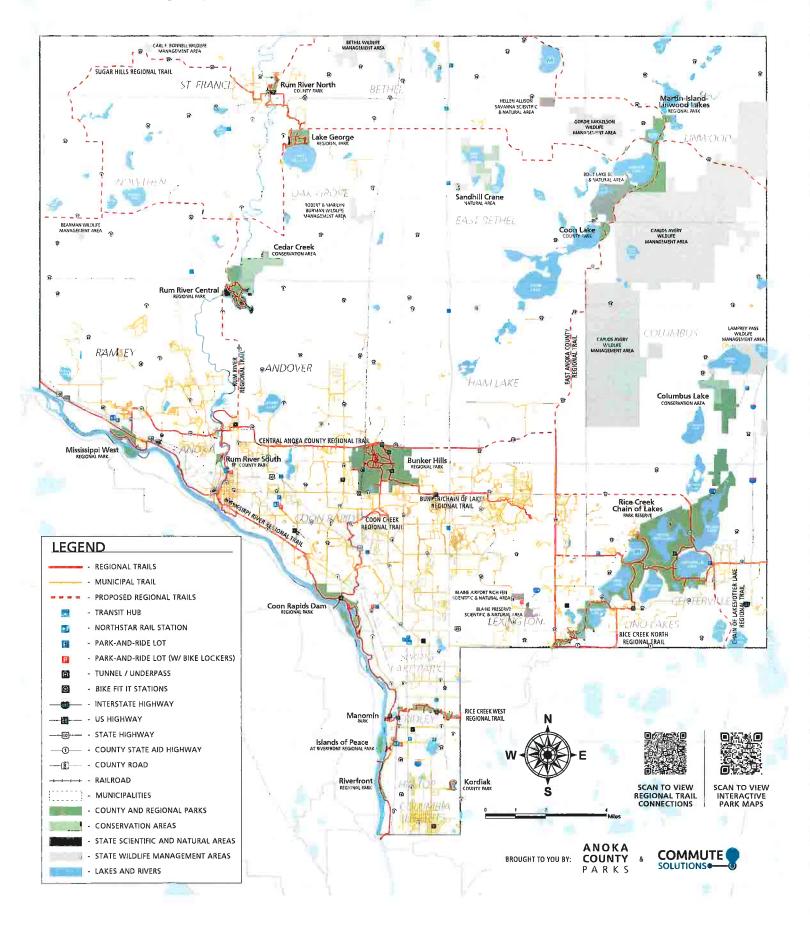


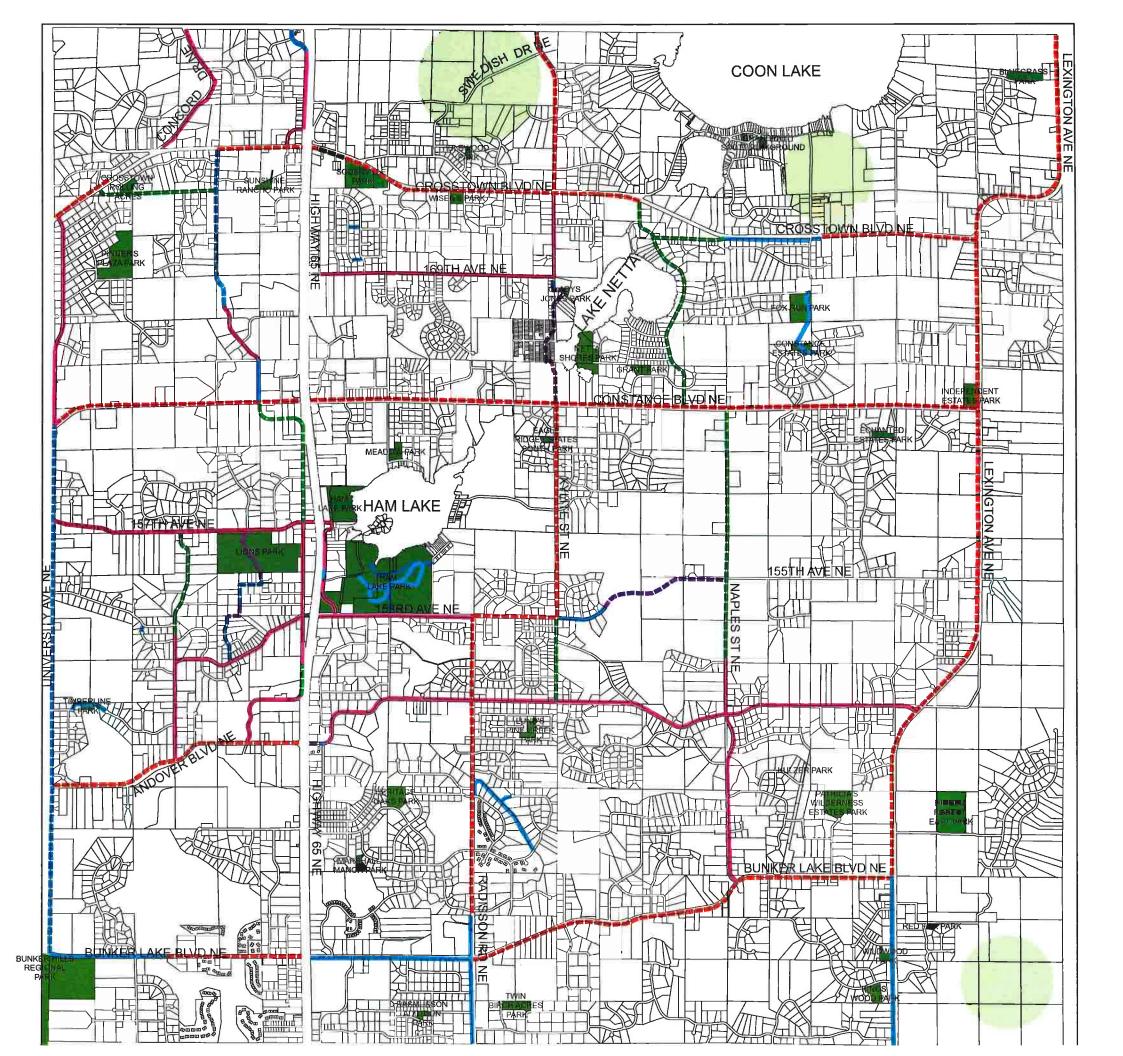






# **EXPLORE ANOKA COUNTY**







## Legend







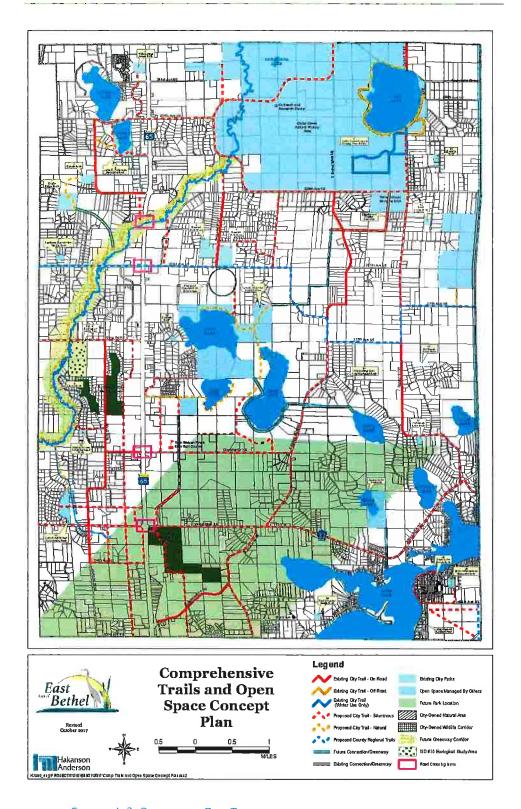
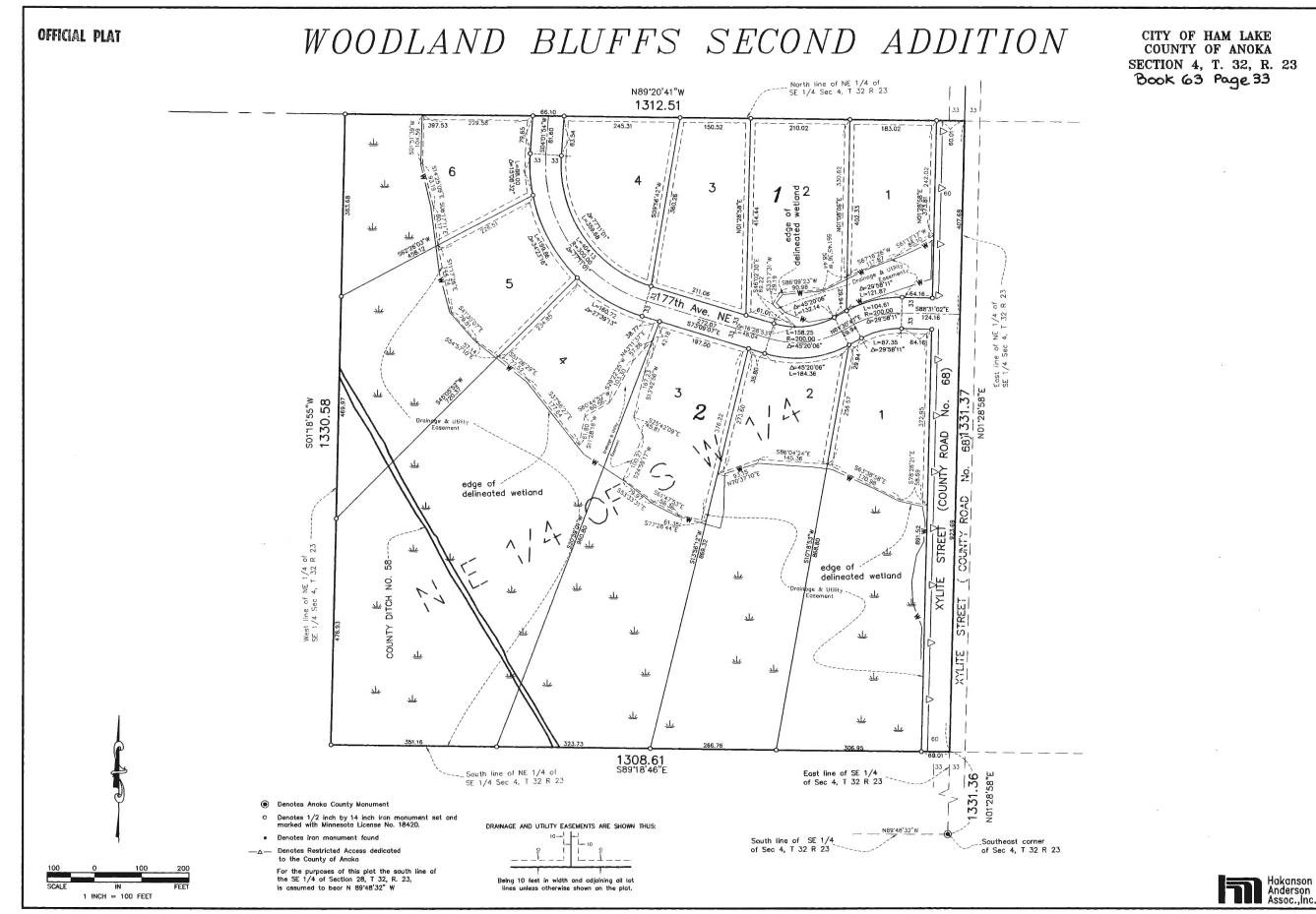


FIGURE 4-3: PROPOSED CITY TRAILS



# Major Natural Resource Concentrations City of Ham Lake

