

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, JULY 17, 2023

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

2.0 PUBLIC COMMENT

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Lt. Schuldt, Anoka County Sheriff's Office Monthly Report

3.2 State Representative Peggy Scott – Legislative Update

3.3 6:01 P.M. – Public Hearing – to consider the vacation of a portion of the drainage and utility easements located on Lot 12, Block 1, Timber Woods in Section 35 and adoption of a Resolution

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of July 5, 2023

4.2 Approval of claims

4.3 Approval of an Ordinance rezoning Toby's Trails

4.4 Approval of a Resolution for a request for Statement of Concurrence on proposed Boundary Changes between Coon Creek Watershed District and Sunrise River Watershed District Management Organization within the City of Ham Lake

4.5 Approval of a Resolution for the American Rescue Plan Act (ARPA) Funding for Creek Valley Street Reconstruction Project and equipment for the City of Ham Lake's Fire Department

4.6 Approval of a Proclamation proclaiming October as Domestic Violence Awareness Month

4.7 Approval of accepting the CenterPoint Energy Community Safety Grant for purchasing multi-gas monitors for the Fire Department

4.8 Approval of scheduling a Budget Workshop Meeting for Monday, August 7, 2023 at 5:00 p.m.

5.0 PLANNING COMMISSION RECOMMENDATIONS

5.1 Josh Williams, Structural Buildings, requesting Commercial Site Plan approval to construct a 9,352 square foot office/warehouse building for H&H Contracting at 15454 Central Avenue NE

6.0 ECONOMIC DEVELOPMENT AUTHORITY

6.1 Approval of the Purchase Agreement for PIN #17-32-23-24-0009 and Temporary Construction Easement Agreement for PIN #17-32-23-24-0009 & #17-32-23-24-0007 (1360 Constance Boulevard NE)

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

8.1 Discussion of the First Reading of an Ordinance regarding Article 6 – Parking

9.0 CITY ENGINEER

10.0 CITY ADMINISTRATOR

11.0 COUNCIL BUSINESS

11.1 Committee Reports

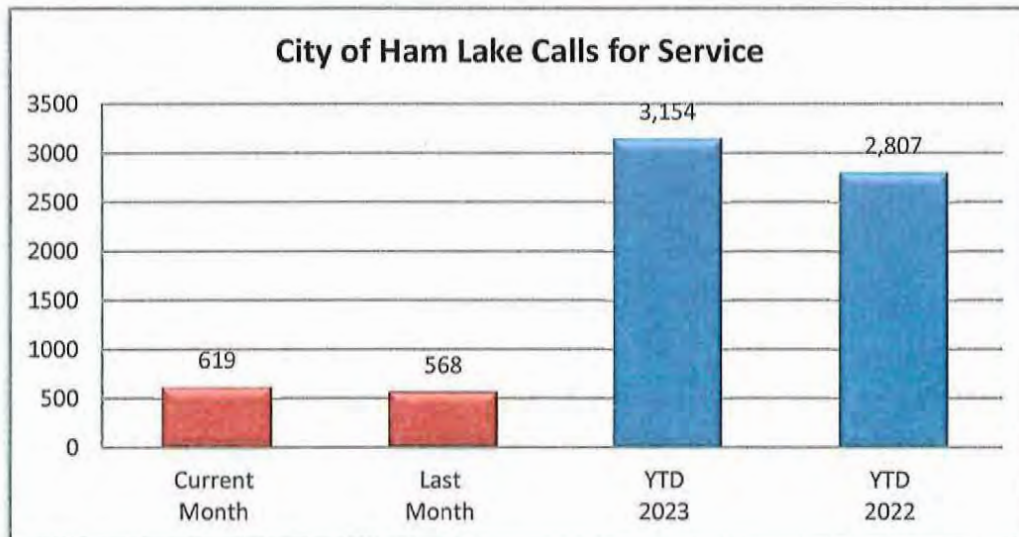
11.2 Discussion of Blaine-Ham Lake area well interference

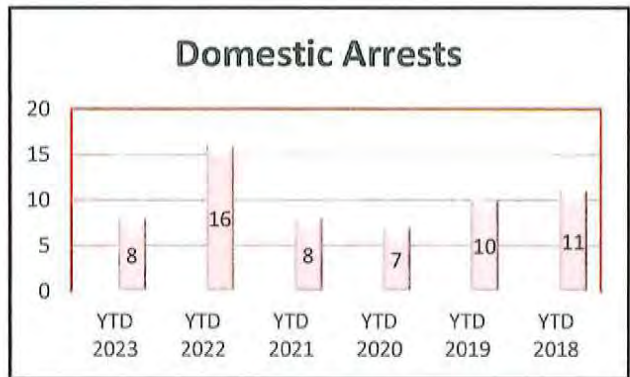
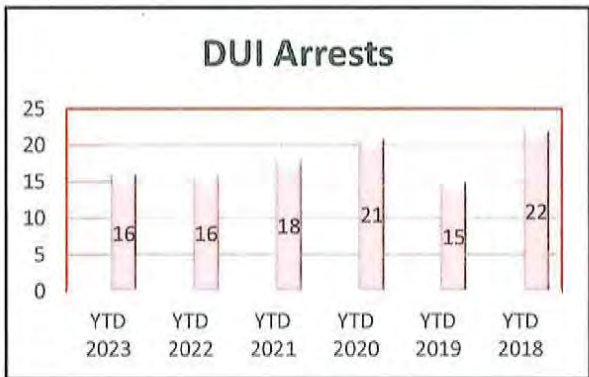
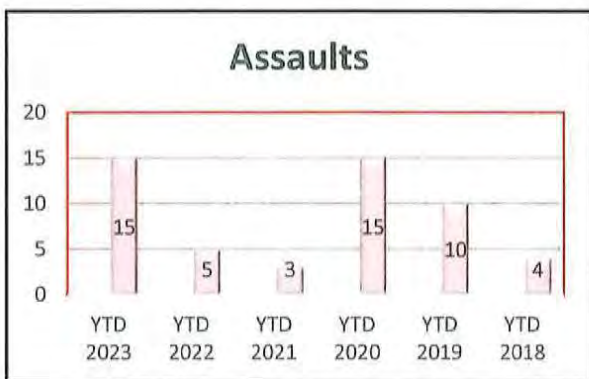
11.3 Announcements and future agenda items

PATROL DIVISION

CITY OF HAM LAKE - JUNE 2023

OFFENSE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD 2023	YTD 2022
Call for Service	505	456	494	512	568	619							3,154	2,807
Burglaries	3	0	1	1	1	0							6	11
Thefts	17	11	10	7	6	13							64	84
Crim Sex Conduct	0	0	0	0	0	0							0	4
Assault	2	3	1	7	2	0							15	5
Dam to Property	0	3	1	1	2	2							9	23
Harass Comm	0	0	0	0	0	0							0	1
PI Accidents	5	6	5	4	9	2							31	41
PD Accidents	27	26	33	29	30	30							175	153
Medical	68	63	60	62	47	55							355	330
Animal Complaint	28	36	19	25	37	38							183	145
Alarms	19	26	29	21	30	36							161	181
Felony Arrests	6	2	2	3	1	2							16	32
GM Arrests	4	4	6	6	8	0							28	20
Misd Arrests	3	5	7	7	3	4							29	28
DUI Arrests	0	6	3	3	3	1							16	16
Domestic Arrests	1	1	1	4	1	0							8	16
Warrant Arrests	6	1	4	5	10	3							29	37
Traffic Stops	223	145	228	160	189	220							1,165	933
Traffic Arrests	53	35	51	38	48	51							276	287



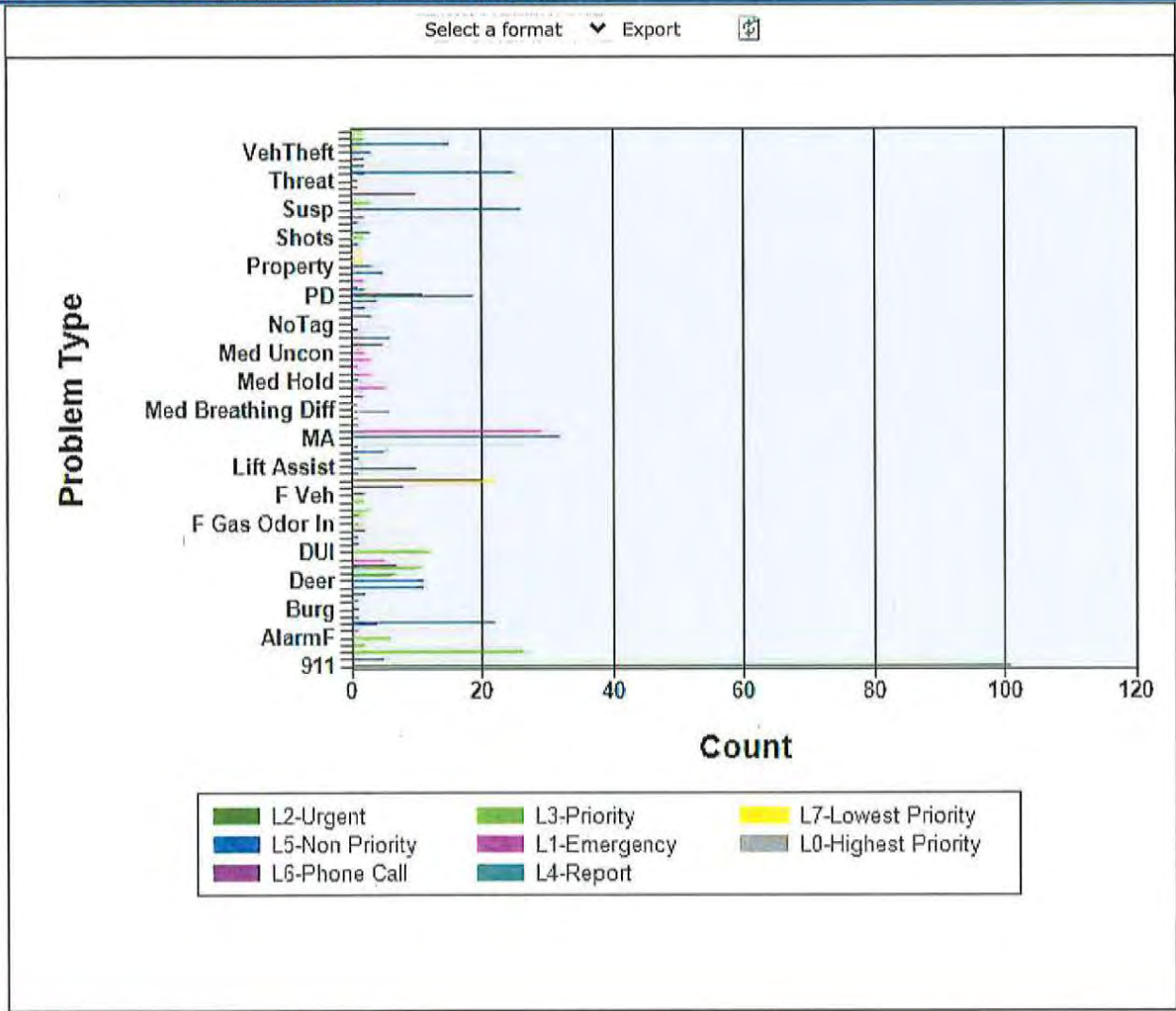


Problem Type Summary

8:38 AM 07/05/2023

Data Source: Data Warehouse

Agency:	LAW ENFORCEMENT
Division:	Ham Lake Law
Day Range:	Date From 6/1/2023 To 6/30/2023
Exclusion:	• Calls canceled before first unit assigned



Priority	Description
0	L0-Highest Priority
1	L1-Emergency
2	L2-Urgent
3	L3-Priority
4	L4-Report
5	L5-Non Priority
6	L6-Phone Call
7	L7-Lowest Priority

Problem Type	Priority								Total
	0	1	2	3	4	5	6	7	
911	0	0	101	0	0	1	0	0	102
Abandon	0	0	0	0	0	5	1	0	6
Abuse	0	0	0	0	0	0	0	0	0
AbuseP	0	0	0	0	0	0	0	0	0
AlarmB	0	0	0	27	0	0	0	0	27

AlarmCO	0	0	0	2	0	0	0	0	2
AlarmCOHI	0	0	0	0	0	0	0	0	0
AlarmF	0	0	0	6	0	0	0	0	6
AlarmFsmoke	0	0	0	0	0	0	0	0	0
AlarmHoldup	0	1	0	0	0	0	0	0	1
AlarmV	0	0	0	0	0	0	0	0	0
AlarmWF	0	0	0	0	0	0	0	0	0
Animal	0	0	0	0	1	22	4	0	27
AnimalResc	0	0	0	0	0	0	0	0	0
Arson	0	0	0	0	0	0	0	0	0
Assault	0	0	0	0	1	0	0	0	1
AssaultP	0	0	0	0	0	0	0	0	0
Boat Assist	0	0	0	0	0	0	0	0	0
Bomb	0	0	0	0	0	0	0	0	0
BombP	0	0	0	0	0	0	0	0	0
Broadcast	0	0	0	0	0	0	0	0	0
Burg	0	0	0	0	0	0	1	0	1
BurgP	0	0	1	0	0	0	0	0	1
Civil	0	0	0	0	0	2	1	0	3
CivilP	0	0	0	0	0	0	0	0	0
CSC	0	0	0	0	0	0	0	0	0
Debris	0	0	0	0	0	11	0	0	11
Deer	0	0	0	0	0	11	0	0	11
Disorderly	0	0	0	7	6	0	0	0	13
Dom	0	0	0	11	1	5	7	0	24
DomP	0	5	0	0	0	0	0	0	5
Drugs	0	0	0	0	0	0	0	0	0
DUI	0	0	0	12	0	0	0	0	12
Dumping	0	0	0	0	0	1	0	0	1
Escort	0	0	0	0	0	1	1	0	2
ExPat	0	0	0	0	0	0	2	1	3
F Aircraft	0	0	0	0	0	0	0	0	0
F Assist	0	0	0	0	0	0	0	0	0
F CleanUp	0	0	0	0	0	0	0	0	0
F Collapse	0	0	0	0	0	0	0	0	0
F Dump	0	0	0	0	0	0	0	0	0
F Elec Smell	0	0	0	0	0	0	0	0	0
F Expt	0	0	0	0	0	0	0	0	0
F Gas Odor In	0	0	0	1	0	0	0	0	1
F Gas Odor Out	0	0	0	0	0	0	0	0	0
F Grass fire	0	0	1	0	0	0	0	0	1
F Illegal	0	0	0	3	0	0	0	0	3
F Misc	0	0	0	0	0	0	0	0	0
F Mutual Aid	0	0	0	0	0	0	0	0	0
F Oven	0	0	0	0	0	0	0	0	0
F Powerlines	0	0	0	0	0	0	0	0	0
F SmokeIn	0	0	0	0	0	0	0	0	0
F SmokeOut	0	0	0	2	0	0	0	0	2
F Structure	0	0	0	0	0	0	0	0	0
F Train	0	0	0	0	0	0	0	0	0
F Veh	0	0	2	0	0	0	0	0	2
F Water Rescue	0	0	0	0	0	0	0	0	0
fight	0	0	0	0	0	0	0	0	0
Flood in	0	0	0	0	0	0	0	0	0
Flood out	0	0	0	0	0	0	0	0	0
Fraud	0	0	0	0	0	5	8	0	13
FraudP	0	0	0	0	0	0	0	0	0
FU	0	0	0	0	0	0	20	22	42
FW	0	0	0	0	0	0	0	0	0
Gun	0	0	0	0	0	0	0	0	0
Harass	0	0	0	0	0	1	1	0	2
Info	0	0	0	0	0	0	0	0	0
Lift Assist	0	0	0	0	10	0	0	0	10
Liq	0	0	0	0	0	1	0	0	1
Lockout	0	0	0	0	0	5	0	0	5
LockoutP	0	0	0	0	1	0	0	0	1

MA	0	0	0	0	0	32	0	0	32
MASS	0	0	0	0	0	0	0	0	0
Med -	0	29	0	0	0	0	0	0	29
Med Alarm	0	1	0	0	0	0	0	0	1
Med Allergic	1	0	0	0	0	0	0	0	1
Med Assault	0	0	0	0	0	0	0	0	0
Med Bleed	0	0	0	0	0	0	0	0	0
Med Breathing DfF	6	0	0	0	0	0	0	0	6
Med Breathing Not	1	0	0	0	0	0	0	0	1
Med Choking	0	0	0	0	0	0	0	0	0
Med Drown	0	0	0	0	0	0	0	0	0
Med Electro	0	0	0	0	0	0	0	0	0
Med Fall	0	2	0	0	0	0	0	0	2
Med Heart	0	5	0	0	0	0	0	0	5
Med Hold	0	0	1	0	0	0	0	0	1
Med Ill	0	3	0	0	0	0	0	0	3
Med Info	0	0	0	0	0	0	0	0	0
Med OB	0	0	0	0	0	0	0	0	0
Med Priority	0	0	0	0	0	0	0	0	0
Med Seizure	0	1	0	0	0	0	0	0	1
Med Stab-Gunshot	0	0	0	0	0	0	0	0	0
Med Stroke	0	3	0	0	0	0	0	0	3
Med Uncon	0	2	0	0	0	0	0	0	2
Medex	0	0	0	0	0	0	0	0	0
Misc	0	0	0	0	0	5	5	0	10
MiscO	0	0	0	0	0	6	2	0	8
Mutual Aid Law	0	0	0	0	0	0	0	0	0
Noise	0	0	0	0	0	1	0	0	1
NoTag	0	0	0	0	0	0	0	1	1
Ord	0	0	0	0	0	2	3	0	5
Other	0	0	0	0	0	2	0	0	2
Park	0	0	0	0	0	4	0	0	4
PD	0	0	0	0	19	0	11	0	30
Person	0	0	0	0	2	0	1	0	3
PI	0	2	0	0	0	0	0	0	2
POR	0	0	0	0	0	5	0	0	5
Property	0	0	0	0	0	3	1	0	4
PW	0	0	0	0	0	0	0	2	2
REPO-TOW	0	0	0	0	0	0	0	1	1
RJ	0	0	0	0	0	1	0	0	1
RoadClosure	0	0	0	0	0	0	0	0	0
Robbery	0	0	0	0	0	0	0	0	0
RobberyP	0	0	0	0	0	0	0	0	0
Shots	0	0	0	2	0	0	0	0	2
Slumper	0	0	0	0	3	0	0	0	3
StolenProp	0	0	0	0	0	1	0	0	1
Suicide	0	0	0	0	0	0	0	0	0
SuicideP	0	2	0	0	0	0	0	0	2
Susp	0	0	0	0	0	26	2	0	28
SuspP	0	0	0	3	0	0	0	0	3
Theft	0	0	0	0	0	4	10	0	14
TheftP	0	0	1	0	0	0	0	0	1
Threat	0	0	0	0	0	1	1	0	2
ThreatP	0	0	0	0	0	0	0	0	0
Traf	0	0	0	1	0	25	2	0	28
Tres	0	0	0	0	0	2	0	0	2
UNK	0	0	0	0	0	0	0	0	0
Unsecure	0	0	0	0	0	0	0	0	0
Vand	0	0	0	0	0	0	2	0	2
VandP	0	0	0	0	0	0	0	0	0
VehTheft	0	0	0	0	0	3	0	0	3
VehTheftP	0	0	0	0	0	0	0	0	0
Weapon	0	0	0	0	0	0	0	0	0
Weather	0	0	0	0	0	0	0	0	0
Welfare	0	0	0	0	0	15	0	0	15
WelfareP	0	0	0	2	0	0	0	0	2

WT

Total

0	0	0	2	0	0	1	0	3
8	56	107	81	44	209	87	27	619

Go Back

Close

RESOLUTION NO. 23-XX

WHEREAS, a public hearing was held before the Ham Lake City Council on the 17th day of July, 2023 at 6:01 p.m. to consider the proposed vacation of certain lands within the City of Ham Lake;

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the following described property be vacated;

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

Adopted by the City Council of the City of Ham Lake this 17th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on July 17, 2023 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: July 6, 2023

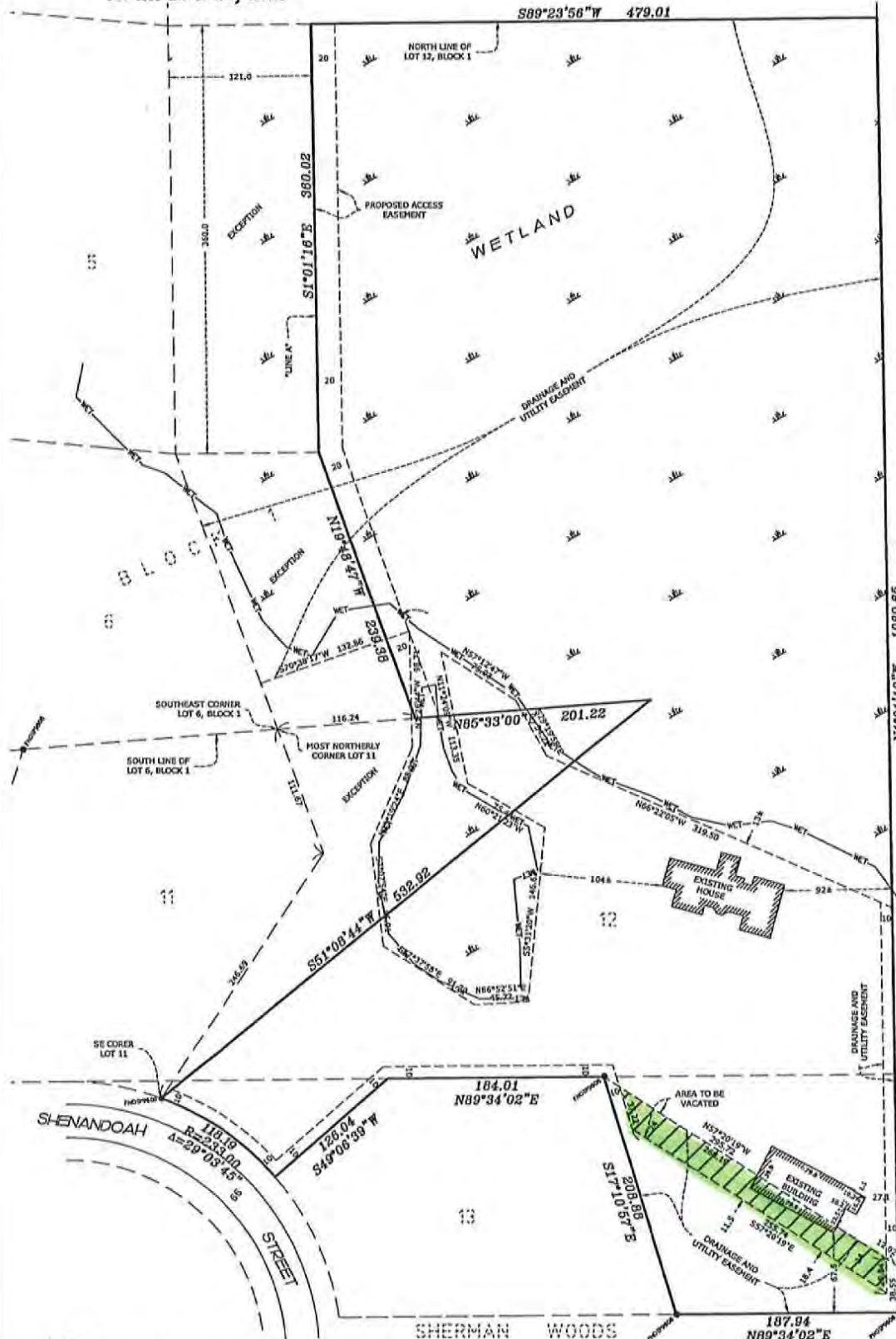

Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of July 6, 2023 and July 17, 2023.

Published in the Star Tribune on July 7, 2023

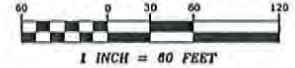
SKETCH AND DESCRIPTION / EASEMENT VACATION

~for~ TIM AND PAULA LANG
 ~of~ 3705 139TH AVE NE
 HAM LAKE, MN



NORTH

GRAPHIC SCALE



EXISTING LEGAL DESCRIPTION

Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota EXCEPT the West 121.00 feet of the North 360.00 feet thereof, ALSO EXCEPT that part of said lot described as follows: Beginning at the most northerly corner of said Lot 11, thence North 85 degrees 33 minutes 00 seconds East, assumed bearing, along the easterly extension of the northerly line of said Lot 11, a distance of 317.46 feet; thence South 51 degrees 08 minutes 44 seconds West, a distance of 532.92 feet, to the Southeast corner of said Lot 11; thence North 33 degrees 48 minutes 41 seconds East, along the easterly line of said Lot 11, a distance of 246.69 feet; thence North 20 degrees 18 minutes 53 seconds West along said easterly line, a distance of 111.67 feet to the point of beginning, all in TIMBER WOODS, according to the recorded plat thereof, ALSO EXCEPT that part of said Lot 12 described as follows: Beginning at the southeast corner of said Lot 6; thence North 85 degrees 33 minutes 00 seconds East, assumed bearing, along the easterly extension of the southeasterly line of said Lot 6, a distance of 116.24 feet; thence North 19 degrees 48 minutes 47 seconds West, a distance of 239.38 feet to the southeast corner of the West 121.00 feet of the North 360.00 feet of said Lot 12; thence South 89 degrees 23 minutes 56 seconds West, parallel with the north line of said Lot 12, a distance of 121.00 feet to the northeast corner of said Lot 6; thence South 20 degrees 18 minutes 53 seconds East a distance of 248.41 feet to the point of beginning, all in TIMBER WOODS, according to the recorded plat thereof.

SURVEY NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 04/14/23.
- Bearings shown are on plat datum.

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, and on Lot 1, Block 1, SHERMAN WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

DENOTES AREA TO BE VACATED (6,287.24 S.F.)

SE CORNER OF LOT 12, BLOCK 1

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 4/17/2023 License No. 41578

DRAWN BY:	RAF	JOB NO.:	220567ED	DATE:	06-27-22
CHECK BY:	JER	FIELD CREW:	DM/BJ		
1	04-17-23	ADDED FIELD INFO.			
2					
3					
NO.	DATE	DESCRIPTION			BY

E.G. RUD & SONS, INC.
 EST. 1977
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

July 6, 2023

To Whom it May Concern:

Attached is the second public hearing notice for vacation of a portion of drainage and utility easements on Lot 12, Block 1, Timber Woods. A hearing for this vacation was held on June 5, 2023 and the vacation was approved. However, due to an error in the legal description (the easement area remains the same - please see the map included), the approval process must be repeated with the updated legal description.

If you have any questions, please feel free to contact me at dshimek@ci.ham-lake.mn.us or 763-235-1673.

Sincerely,

A handwritten signature in black ink, appearing to read "Dawnette Shimek". The signature is fluid and cursive.

Dawnette Shimek
Deputy City Clerk

20

Tim
Lang ↓

CROOKS ANDREW L
PIN: 35-32-23-21-0012
3635 140TH AVE NE
HAM LAKE, MN 55304

CHASTANET, HENRI G
PIN: 35-32-23-24-0018
13800 SHENANDOAH ST NE
HAM LAKE, MN 55304

MATTSON, JAIMIE A
PIN: 35-32-23-21-0005
3748 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

GABRIELSON DARYL G & CAROL
PIN: 35-32-23-12-0003
3840 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

LEMKE JAYMIE L
PIN: 35-32-23-24-0004
13817 SHENANDOAH ST NE
HAM LAKE, MN 55304

TUFTE JAMIE L & DAHL TUFTE AMY
PIN: 35-32-23-24-0011
13855 SHENANDOAH ST NE
HAM LAKE, MN 55304

BAYLESS MARK E
PIN: 35-32-23-21-0021
3642 140TH AVE NE
HAM LAKE, MN 55304

HEDRINGTON, KATIE J
PIN: 35-32-23-21-0010
3658 BUNKER LAKE BLVD
HAM LAKE, MN 55304

RIOLA ANNE M & PETER W
PIN: 35-32-23-13-0005
13814 VICKERS ST NE
HAM LAKE, MN 55304

LARSON BRIAN R
PIN: 35-32-23-12-0007
7338 148TH LN NW
RAMSEY, MN 55303

WYLIE TRUSTEE, TERI A
PIN: 35-32-23-24-0003
13833 SHENANDOAH ST NE
HAM LAKE, MN 55304

BILLS DEWITT LEE & JUDITH A
PIN: 35-32-23-21-0004
3716 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

LANG TRUSTEE, PAULA K
PIN: 35-32-23-21-0027
3705 139TH AVE NE
HAM LAKE, MN 55304

BARNES, DANIEL J
PIN: 35-32-23-13-0006
13819 VICKERS ST NE
HAM LAKE, MN 55304

HYLAND, TINA
PIN: 35-32-23-12-0001
3816 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

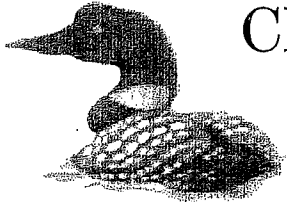
LANG TRUSTEE, PAULA K
PIN: 35-32-23-24-0009
3705 139TH AVE NE
HAM LAKE, MN 55304

LANG TRUSTEE, TIMOTHY S
PIN: 35-32-23-24-0010
3705 139TH AVE NE
HAM LAKE, MN 55304

MYRMEL TRUSTEE JEFFREY A
PIN: 35-32-23-21-0025
3640 140TH AVE NE
HAM LAKE, MN 55304

VITEK CHRISTOPHER G
PIN: 35-32-23-21-0009
3644 BUNKER LAKE BLVD
HAM LAKE, MN 55304

STENGER, KERRY
PIN: 35-32-23-21-0018
3635 139TH AVE NE
HAM LAKE, MN 55304



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES WEDNESDAY, JULY 5, 2023

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Wednesday, July 5, 2023 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle and Al Parranto

MEMBERS ABSENT: Councilmembers Gary Kirkeide and Jesse Wilken

OTHERS PRESENT: City Attorney, Mark Berglund; City Engineer, Tom Collins; Deputy City Clerk, Dawnette Shinek

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Kirkham called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

2.0 PUBLIC COMMENT

David Ross, 13450 Quincy Street NE, stated that the City of Blaine has caused 47 wells in the City of Ham Lake to run dry. Mr. Ross stated that the City of Blaine pumped water from three unpermitted wells for two years. Mr. Ross stated as a resident of Ham Lake he is nervous of what will happen next if Blaine would draw more water to meet their aggressive development plans. Mr. Ross stated it is up to Ham Lakes elected officials and leaders to determine how best to proceed with this challenge caused by the City of Blaine. Mr. Ross stated that maybe the City Council could reach out to the Department of Natural Resources or the Anoka County Board to help protect our community from the growth and development occurring alongside Ham Lakes border lines. The City Council thanked Mr. Ross.

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS – None

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of June 20, 2023, Budget Meeting minutes of June 20, 2023 and Workshop Meeting minutes of June 20, 2023
- 4.2 Approval of claims in the amount of \$234,071.21
- 4.3 Approval of Ordinance No. 23-04 rezoning Hentges Addition
- 4.4 Approval of the 2024 North Metro Telecommunications Commission Budget (NMTV)
- 4.5 Approval of purchasing two new Single Axel Plow Trucks for the Public Works Department
- 4.6 Approval of rescinding Resolution No. 23-23 and adoption of Resolution No. 23-28 scheduling a public hearing to vacate a portion of the drainage and utility easement located on Lot 12, Block 1, Timber Woods in Section 35

- 4.7 Approval of Resolution No. 23-29 for the American Rescue Plan Act (ARPA) Funding for Creek Valley Street Reconstruction Project
- 4.8 Approval of Resolution No. 23-30 accepting a \$2,500 donation from the Ham Lake Chamber of Commerce

Motion by Parranto, seconded by Doyle, to approve the July 5, 2023 consent agenda as written. All present in favor, motion carried.

4.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Richard and Diane Sylvester requesting Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15 (this is considered the First Reading of a Rezoning Ordinance)

Motion by Doyle, seconded by Parranto, to concur with the Planning Commission and approve the request of Richard and Diane Sylvester for Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15 subject to removal/relocation of portions of the existing gravel driveway that encroaches into the ten-foot drainage and utility easement, having a compliance inspection performed on the existing septic system on Lot 1, signing an encroachment agreement for Lot 2 and Lot 3 driveways encroaching into the drainage and utility easement adjacent to Constance Boulevard NE, paving the existing gravel driveway of Lot 1 before any future building permits are issued on that parcel, upgrading Naples Street NE from Constance Boulevard NE to the southeast plat border if the property is subdivided again in the future, meeting the requirements of the City Engineer, and meeting all City, State and County requirements. All present in favor, motion carried. (This is considered the First Reading of a Rezoning Ordinance.)

- 5.2 Jeff Stalberger, HFN Properties, LLC, requesting Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 outlots) in Sections 24 and 25 (this is considered the First Reading of a Rezoning Ordinance)

Motion by Doyle, seconded by Parranto, to concur with the Planning Commission and approve the request Jeff Stalberger, HFN Properties, LLC, for Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East 4th Addition (22 Single Family Residential lots and 3 out-lots) in Sections 24 and 25 subject to meeting the requirements of the City Engineer as noted in his June 22, 2023 memo, and meeting all City, State and County requirements. All present in favor, motion carried. (This is considered the First Reading of a Rezoning Ordinance.)

- 5.3 Mitch Stone, Stone Construction, requesting Commercial Site Plan approval to construct a 12,992 square foot addition to Jam Hops at 1460 133rd Lane NE

Motion by Doyle, seconded by Parranto, to concur with the Planning Commission and approve the application of Stone Construction to build a 12,992 square foot addition to the existing Jam Hops building located at 1460 133rd Lane NE subject to providing a screening plan that meets the approval of the Building Official, submitting a septic design that can accommodate the occupancy load as required by Minnesota Subsurface Sewage Treatment System Program (SSTS) rules (no building permit will be issued until the septic design has been approved by the City of Wyoming Building

Official), meeting the requirements of the City Engineer and the Building Official and meeting all City, County and State requirements. All present in favor, motion carried.

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

Attorney Berglund reported that land acquisitions for future service road construction are moving forward.

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports

Councilmember Doyle stated that the Road Committee is scheduled to meet on July 17, 2023 and he may not be able to attend. City Engineer Collins stated the Road Committee meeting can be rescheduled.

11.2 Announcements and future agenda items

Councilmember Doyle stated he attended the Freedom Festival over the weekend and stated it was great.

Councilmember Parranto would like to address the situation where the City of Blaine's new wells are causing wells to run dry on properties on the south end of Ham Lake. Mayor Kirkham asked that this be added to the next City Council agenda for discussion.

CLOSED MEETING - Pursuant to Minn. Stat. §13D.05, Subd. 3(c)(3) to discuss the purchase of real property identified as PIN #17-32-23-24-0014 (during a recess of the regularly scheduled City Council meeting)

Mayor Kirkham called a recess at 6:10 p.m. in order to conduct a closed meeting.

Mayor Kirkham called the closed meeting to order at 6:12 p.m. The closed meeting was adjourned at 6:23 p.m.

Motion by Parranto, seconded by Doyle, to adjourn the meeting at 6:24 p.m. All present in favor, motion carried.

Dawnette Shimek, Deputy City Clerk

**CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL
July 17, 2023**

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS		06/29/23 & 07/06/23 - 07/17/23	
EFT	# 1888 - 1893	\$	3,180.51
REFUND CHECKS	# 65198 - 65199	\$	250.00
CHECKS	# 65200 - 65244	\$	801,697.91
BANK DRAFTS	DFT0002566	\$	1,139.09
BANK DRAFTS	DFT0002567 -DFT0002572	\$	26,269.92
TOTAL EFTS, CHECKS, AND BANK DRAFTS		\$	<u>832,537.43</u>
PAYROLL CHECKS			
07/14/23	Direct Deposits	\$	36,673.49
TOTAL PAYROLL CHECKS		\$	<u>36,673.49</u>
TOTAL OF ALL PAYMENTS		\$	<u><u>869,210.92</u></u>
VOID CHECKS			
CHECKS		\$	-
ZERO EFT		\$	-
BANK DRAFTS		\$	-

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 17TH DAY OF JULY 2023

MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER



City of Ham Lake, MN

Refund Check Register

Packet: ARPKT00822 - 07/11/23 TRUST REFUNDS

Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00388	KAITLIN MADEJ	7/11/2023	65198	150.00
00404	TJB HOMES	7/11/2023	65199	100.00
			Total Refund Amount:	250.00

Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	250.00
Revenue Totals:	250.00

General Ledger Distribution

Posting Date: 07/11/2023

Account Number	Account Name	Posting Amount	IFT
Fund: 890 - TRUST FUND			
890-10101	Cash-claim on pooled cash	-250.00	Yes
890-11501	Misc receivables	250.00	
	890 Total:	0.00	
Fund: 999 - POOLED CASH			
999-10100	Pooled Cash	-250.00	
999-20702	Due to other funds	250.00	Yes
	999 Total:	0.00	
	Distribution Total:	0.00	



City of Ham Lake, MN

Check Register

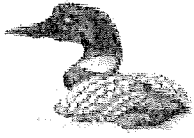
Packet: APPKT01836 - JULY HAM LAKER POSTAGE

By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: APBNK-A/P BANK						
USPOSTMASTER	US POSTMASTER	06/29/2023	Bank Draft	0.00	1,139.09	DFT0002566
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
Account Number	Account Name	Project Account Key	Item Description	Dist Amount		
<u>23-07</u>	Invoice	06/29/2023	JULY HAM LAKER POSTAGE	0.00	1,139.09	
<u>211-41704-2120</u>	Postage		JULY HAM LAKER POSTAGE		1,139.09	

Bank Code APBNK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	0	0	0.00	0.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	1	1	0.00	1,139.09
EFT's	0	0	0.00	0.00
	1	1	0.00	1,139.09



Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1888	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	86.96
1888	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1888	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	58.26
1888	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	86.96
1888	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1888	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	58.26
1888	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	86.96
1888	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1888	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	58.26
1889	O'REILLY AUTOMOTIVE STORE	CONNECTOR	Operating supplies	100-43101-2290	14.99
1889	O'REILLY AUTOMOTIVE STORE	CLEANING WIPES	Vehicle parts & supplies	100-42201-2340	7.49
1889	O'REILLY AUTOMOTIVE STORE	ANTIFREEZE	Vehicle parts & supplies	100-42201-2340	19.99
1890	QUADIENT LEASING USA INC	AUG - NOV POSTAGE METER L	Equipment rentals	100-41701-3320	462.06
1891	STAR TRIBUNE MEDIA COMPA	GOVERNMENT FINANCES	Legal notices/publications/bid	100-41101-3950	682.56
1891	STAR TRIBUNE MEDIA COMPA	ORD 23-03 CHICKENS	Legal notices/publications/bid	100-41102-3950	232.26
1891	STAR TRIBUNE MEDIA COMPA	NPDES PERMIT	Legal notices/publications/bid	230-43201-3950	58.46
1891	STAR TRIBUNE MEDIA COMPA	FLEET STAR VACATION	Legal notices/publications/bid	890-90001-3950	290.72
1891	STAR TRIBUNE MEDIA COMPA	HENTGES	Legal notices/publications/bid	890-90001-3950	97.96
1891	STAR TRIBUNE MEDIA COMPA	HIDDEN FOREST EAST 4TH	Legal notices/publications/bid	890-90001-3950	77.42
1891	STAR TRIBUNE MEDIA COMPA	TOBY'S TRAILS	Legal notices/publications/bid	890-90001-3950	69.52
1892	SUSAN KNOUSE	2ND QTR 21ST CENTURY MILE	Mileage	100-41401-3960	28.17
1893	WICK COMMUNICATIONS-LEA	JULY HAM LAKER	Printing	211-41704-3970	667.25
65200	ACCESS	JUNE SHREDDING	Waste management & recycli	231-43601-3630	137.20
65201	ACE SOLID WASTE INC	JULY ORGANICS	Waste management & recycli	231-43601-3630	352.33
65202	ALL CITY ELEVATOR INC	3RD QTR MAINTENANCE	Building repair & maintenanc	100-41702-3420	212.00
65203	AMERICAN WATER WORKS	REFUND CANCELLED PERMIT	Refunds & reimbursements	100-48101-4145	61.00
65204	ANOKA COUNTY PROPERTY	BUSS DRIVEWAY AGREEMENT	Refunds & reimbursements	100-37601	46.00
65204	ANOKA COUNTY PROPERTY	FLEET STAR CUP	Filing fees	890-90001-3980	46.00
65205	ASPEN MILLS INC	UNIFORM & POLO - WT	Clothing & personal protectiv	100-42201-2210	206.62
65206	BERGANKDV	2022 AUDIT	Audit & actuarial services	100-41402-3115	4,980.00
65207	BERGLUND, BAUMGARTNER,	BOTTINEAU	Attorney	100-41101-3110	115.36
65207	BERGLUND, BAUMGARTNER,	1222 CONSTANCE/CRAWFOR	Attorney	100-41101-3110	774.56
65207	BERGLUND, BAUMGARTNER,	WORKSHOP	Attorney	100-41101-3110	65.92
65207	BERGLUND, BAUMGARTNER,	DRUG POLICY	Attorney	100-41101-3110	131.84
65207	BERGLUND, BAUMGARTNER,	USED CAR LOTS	Attorney	100-41101-3110	725.12
65207	BERGLUND, BAUMGARTNER,	MEETINGS	Attorney	100-41101-3110	432.20
65207	BERGLUND, BAUMGARTNER,	PROSECUTIONS	Attorney	100-41501-3110	6,695.00
65207	BERGLUND, BAUMGARTNER,	PLANNING AGENDA REVIEW	Attorney	100-41601-3110	280.16
65207	BERGLUND, BAUMGARTNER,	SRWMO	Attorney	100-43201-3110	824.00
65207	BERGLUND, BAUMGARTNER,	JAKE'S AUTO MALL	Attorney	262-46101-3110	725.12
65207	BERGLUND, BAUMGARTNER,	TWIN BIRCH	Attorney	431-43301-3110	313.12
65208	BJORKLUND TRUCKING LLC	10.56 TN CLASS 5	Gravel Maintenance	100-43101-3415	176.88
65209	BLUE CROSS BLUE SHIELD OF	AUG VISION	Vision Insurance	100-21715	31.65
65210	BUSINESS ESSENTIALS	PAPER TOWELS & TOILET PAP	Operating supplies	100-44101-2290	1,305.42
65211	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	136.97
65211	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	69.19
65211	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	35.21
65211	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	81.82
65211	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	25.67
65211	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	40.47
65211	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	73.75
65212	CITY OF ANDOVER	DUST CONTROL	Gravel Maintenance	100-43101-3415	511.56
65213	CITY OF COLUMBUS	JUNE SIGNAL LEXINGTON & B	Electricity	100-43401-3610	24.75
65214	CITY OF ST PAUL	18 TN ASPHALT MIX	Street repair & maintenance s	100-43101-2330	1,603.62

Council Approval List

Payment Dates: 7/6/2023 - 7/17/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65215	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	1,264.39
65215	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	77.16
65215	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	15.38
65215	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	295.52
65215	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	368.54
65215	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	426.28
65215	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	68.25
65215	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	760.87
65215	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	23.15
65215	CONNEXUS ENERGY	LEXINGTON/CROSTOWN SIG	Electricity	100-43401-3610	45.64
65215	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	82.22
65215	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	119.59
65215	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	62.65
65215	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	65.59
65215	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	74.34
65215	CONNEXUS ENERGY	CROSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	74.72
65215	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	76.85
65215	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	266.74
65215	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	35.80
65215	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	134.07
65215	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	18.50
65215	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	128.25
65215	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	93.17
65215	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	139.32
65215	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	30.64
65215	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	108.67
65215	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	680.83
65215	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	4,482.65
65217	CONNEXUS ENERGY	AERATOR	Electricity	100-44101-3610	14.50
65218	DEHN OIL CO	100 GAL GASOLINE	Fuel	100-43101-2230	289.88
65218	DEHN OIL CO	202 GAL DIESEL	Fuel	100-43101-2230	525.62
65219	DOUGLAS-KERR UNDERGROU	CREEK VALLEY	Contractors	431-43301-3810	702,111.75
65220	GOODYEAR TIRE	#81 TIRES	Vehicle repair & maintenance	100-43101-3470	1,170.56
65221	GRAINGER	BATTERIES - CITY HALL CHAM	Building repair & maintenanc	100-41702-2310	84.84
65221	GRAINGER	EMERGENCY LIGHT - CITY HAL	Building repair & maintenanc	100-41702-2310	35.23
65222	HAM LAKE HARDWARE INC	LION'S PARK MARKING STAKE	Operating supplies	100-44101-2290	3.99
65222	HAM LAKE HARDWARE INC	LION'S PARK BULBS, PAINT, TH	Operating supplies	100-44101-2290	31.06
65222	HAM LAKE HARDWARE INC	LION'S PARK TRASH BAGS	Operating supplies	100-44101-2290	11.99
65223	HYDRAULIC SPECIALTY CO INC	#71 HOSE REPAIR	Equipment repair & maintena	100-43101-3440	424.05
65224	JOHN WELSCH	REFUND CANCELLED PERMIT	Refunds & reimbursements	100-48101-4145	450.69
65225	LEPAGE & SONS INC	6/21/23YARDWASTE	Waste management & recycli	231-43601-3630	466.10
65225	LEPAGE & SONS INC	YARDWASTE	Waste management & recycli	231-43601-3630	492.06
65226	LINCOLN NATIONAL LIFE INSU	AUG LT DISABILITY	STD/LTD	100-21713	553.06
65226	LINCOLN NATIONAL LIFE INSU	AUG ST DISABILITY	STD/LTD	100-21713	854.17
65227	MENARDS-BLAINE	SCREWS, FAN, FRAMING LUM	Street repair & maintenance s	100-43101-2330	277.93
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41201-2510	39.36
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41301-2510	31.76
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41401-2510	55.93
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41601-2510	24.16
65228	METRO - INET	PHONES	Phones/radios/pagers	100-41701-3210	124.00
65228	METRO - INET	IT SUPPORT	Computer & software support	100-41707-3120	5,370.00
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-42201-2510	55.93
65228	METRO - INET	PHONES	Phones/radios/pagers	100-42201-3210	52.00
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-42401-2510	95.30
65228	METRO - INET	PHONES	Phones/radios/pagers	100-42401-3210	62.00
65228	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-43101-2510	21.56
65228	METRO - INET	PHONES	Phones/radios/pagers	100-43101-3210	31.00
65228	METRO - INET	PHONES	Phones/radios/pagers	100-44101-3210	10.00
65228	METRO - INET	PHONES	Phones/radios/pagers	100-44201-3210	41.00
65229	MINNESOTA PYROTECHNICS L	2ND HALF 2023 FIREWORKS	Community celebrations	100-41701-4115	6,000.00

Council Approval List

Payment Dates: 7/6/2023 - 7/17/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65230	MN DEPARTMENT OF LABOR	2ND QTR SURCHARGE	Surcharge	100-22801	3,751.86
65231	MN FIRE SERVICE CERT BOAR	FFI CERTIFICATION, HAZ MAT,	Training/conferences/schools	100-42201-3510	430.50
65232	MN METRO NORTH TOURISM	MAY LODGING TAX	Convention bureau	263-46101-4120	2,014.61
65233	MN PEIP	AUG HEALTH INSURANCE	Health Insurance	100-21710	10,227.60
65234	NCPERS GROUP LIFE INSURAN	AUG LIFE	Life Insurance	100-21714	96.00
65235	NORTHERN TOOL & EQUIPME	#71 GREASE JOINT CLEANER,S	Equipment parts & supplies	100-43101-2320	140.95
65236	PLAISTED COMPANIES, INC.	LION'S PARK WOODCHIPS	Operating supplies	100-44101-2290	383.40
65236	PLAISTED COMPANIES, INC.	LION'S PARK WOODCHIPS	Operating supplies	100-44101-2290	2,731.15
65237	PREMIUM WATERS INC	JULY WATER COOLER RENTAL	Equipment rentals	100-41701-3320	14.00
65237	PREMIUM WATERS INC	JUNE WATER & BOTTLE DEPO	Equipment rentals	100-41701-3320	34.20
65238	PRINT CENTRAL	SEPTIC POSTCARDS	Office supplies	100-42401-2110	445.16
65238	PRINT CENTRAL	SEPTIC POSTCARD POSTAGE	Postage	100-42401-2120	631.28
65239	SHOTGUN DRAMA JUNKIES LL	FREEDOM FEST ENTERTAINM	Community celebrations	100-41701-4115	1,000.00
65240	THE MPX GROUP	JULY HAM LAKER DELIVERY	Other services and charges	211-41704-3990	225.00
65241	TURFWERKS	#65 GAS STRUT & TIRES	Equipment parts & supplies	100-44101-2320	1,136.81
65242	TYLER TECHNOLOGIES INC	INCODE SUPPORT JULY - DEC	Prepaid expense	100-15501	12,891.86
65242	TYLER TECHNOLOGIES INC	INCODE SUPPORT JAN - JUNE	Computer & software support	100-41401-3120	12,891.86
65243	WRIGHT-HENNEPIN COOPERA	JULY SECURITY MONITORING	Monitoring	100-41702-3145	33.95
65243	WRIGHT-HENNEPIN COOPERA	JULY ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
65243	WRIGHT-HENNEPIN COOPERA	JULY PW FIRE PANEL MONITO	Monitoring	100-43104-3145	52.95
65244	ZARNOTH BRUSH WORKS, INC	#47 BROOM & CORE	Equipment parts & supplies	100-44101-2320	1,483.00
DFT0002567	MN STATE DEPT OF REVENUE-	JUNE '23 FUEL TAX	Fuel	100-43101-2230	60.14
DFT0002568	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002569	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,955.00
DFT0002569	EMPOWER	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002570	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,615.40
DFT0002570	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,601.34
DFT0002570	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,324.58
DFT0002571	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,502.61
DFT0002572	PERA	Retirement-Coordinated	PERA	100-21703	6,767.63
DFT0002572	PERA	Retirement-Police & Fire	PERA	100-21703	1,243.22

Grand Total: 831,148.34



City of Ham Lake, MN

EFT Payroll Check Register

Report Summary

Pay Period: 6/25/2023-7/8/2023

Packet: PYPKT01495 - PPE 07/08/23 PAID 07/14/23

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	36	36,673.49
Total	36	36,673.49

ORDINANCE NO. 23-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Toby's Trails).

PID# 15-32-23-14-0004

SE1/4 OF NE1/4 SEC 15 32 23 EX E 657.04 FT OF S 663 FT OF SD 1/4,1/4,
ALSO EX E 373 FT OF N 320 FT OF S 983 FT OF SD 1/4,1/4, (ALL DIST
AS MEAS ALG & PRL/W S & E LINES THEREOF); ALSO EX RD; SUBJ
TO E ASE OF REC

Presented to the Ham Lake City Council on July 5, 2023 and adopted by a unanimous vote this 17th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk

Denise Webster

From: Tim Kelly <tkelly@cooncreekwd.org>
Sent: Thursday, July 6, 2023 12:25 PM
To: Jamie.Schurbon@anokaswcd.org; Denise Webster
Cc: TCollins@RFCengineering.com; Jordan, Michelle (BWSR)
Subject: Request for Statement of Concurrence on Proposed Watershed Boundary Change in the City of Ham Lake.
Attachments: PETITION 2.docx

Caution: This email originated outside our organization; please use caution.

On May 15, 2023 the Ham Lake City Council requested the Coon Creek Watershed District to review its boundary with the Sunrise Watershed Management Organization within the City of Ham Lake.

Attached is a Draft copy of that review in the form of a petition to the Minnesota Board of Water and Soil Resources. Under Minnesota Statutes 103B, requests for changes in Watershed Boundaries must be submitted the Board of Water and Soil Resources with a "Statements of Concurrence" from the affected Watershed Management Organization and City.

We are requesting a written "**Statement of Concurrence**" from you organization. We are also asking that it be supported by a resolution so that they may be included as part of the petition as required under M.S. 103B.215 to. A model letter and resolution are included as part of the petition.

Because of the Administrative requirements and timelines affecting both the boundary and the reassignment of properties to new and different taxing districts, we are requesting a response from your organization by September 15, 2023 to allow and ensure timely action by the State and the County records office

If you have questions or concerns please call me at 763-755-0975.

Sincerely,

Tim Kelly

District Administrator

612.558.7961 direct
763.755.0975 office

13632 Van Buren NE
Ham Lake, MN 55304
www.cooncreekwd.org



RESOLUTION NO. 23-XX

CITY OF HAM LAKE

**APPROVAL OF STATEMENT OF CONCURRENCE FOR WATERSHED DISTRICT
BOUNDARY CHANGE/ADJUSTMENT**

WHEREAS, the Coon Creek Watershed District (“CCWD”) has analyzed and identified certain discrepancies in the common boundary between the Sunrise River Water Management Organization (“SRWMO”) and the CCWD. The discrepancies arise because of differences between the boundaries as established by State order and the hydrologic boundaries as determined by modern mapping information;

WHEREAS, the CCWD has developed a revised boundary for inclusion in a petition to the Board of Water and Soil Resources for boundary change;

WHEREAS, CCWD has presented the revised boundary for consideration by the City of Ham Lake;

WHEREAS, the CCWD has prepared a revised watershed district boundary map and affected parcel listing which have been considered by the City of Ham Lake;

WHEREAS, Minnesota Statute 103B.215, requires a petition for boundary change to be accompanied by a written statement of concurrence in the petition from the governing body of each statutory or home rule charter city and town and each watershed management organization having jurisdiction over the territory proposed to be added or transferred;

WHEREAS, the CCWD has requested concurrence from the City of Ham Lake in the proposed boundary change and in the filing of a petition for boundary change with the Board of Water and Soil Resources that reflects the boundary changes described in the petition.

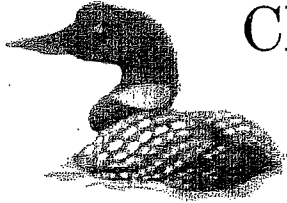
NOW THEREFORE BE IT RESOLVED BY THE CITY OF HAM LAKE THAT:

The City of Ham Lake, in accordance with Minnesota Statute 103B.215, concurs with the proposed boundary changes found in the petition, and authorizes its Mayor to execute the attached statement of concurrence letter for inclusion with the CCWD petition to the Board of Water and Soil Resources for boundary change.

Adopted by the City Council of the City of Ham Lake this 17th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk/Administrator



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

July 17, 2023

Coon Creek Watershed District
ATTN: Tim Kelly
13632 Van Buren St NE
Ham Lake, MN 55304

Re: Petition for Boundary Change, Coon Creek Watershed District: Letter of Concurrence

Dear Mr. Kelly,

The City of Ham Lake has reviewed and considered the proposal to change the common boundary between the Coon Creek Watershed District and the Sunrise River Water Management Organization. Pursuant to Resolution No. 23-32, the City of Ham Lake concurs with the proposed petition to change the common boundary between the Coon Creek Watershed District and the Sunrise River Water Management Organization.

Your point of contact regarding this concurrence is Denise Webster, City Administrator, of the City of Ham Lake at 763-235-1680.

Sincerely,

Mayor Brian Kirkham

Attachment: Resolution No. 23-32

PETITION

COON CREEK WATERSHED DISTRICT

PETITION FOR AN ORDER

CHANGING ITS BOUNDARY BETWEEN

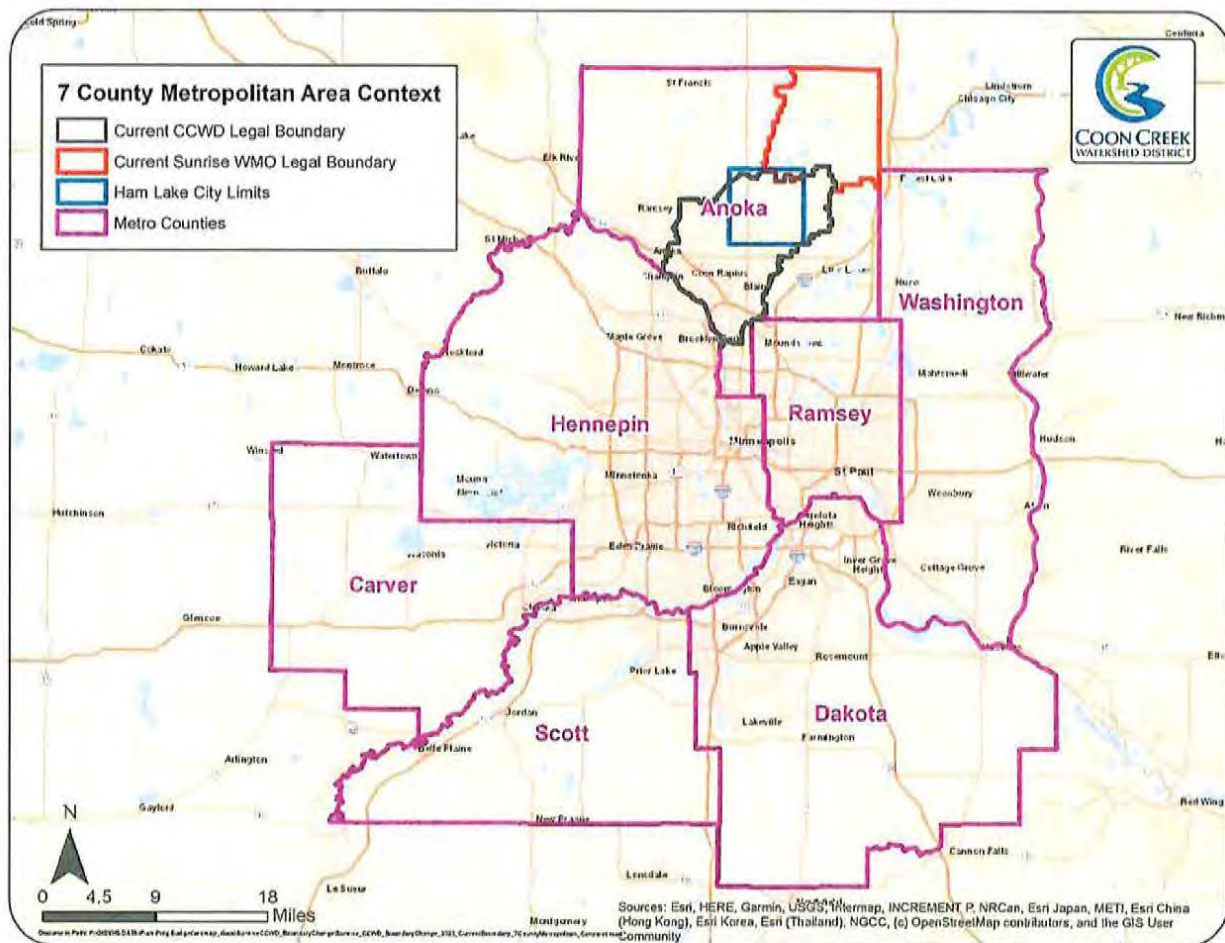
THE SUNRISE RIVER WATERSHED

MANAGEMENT ORGANIZATION

AND

THE COON CREEK WATERSHED DISTRICT

2023



Description of the Requested Change in Boundary

Authorization

MS 103B.205 (8)
MS 473.121 (2) (2023).
MS 103B.205 (12 & 13) (2023).
MS 103B.215 (2023)
MS 103D.251 (2023)

References

May 15, 2023. Letter from the City of Ham Lake Mayor Kirkham regarding the request to review the hydrologic boundary of parcels in the City of Ham Lake to determine if the jurisdiction of any proprieties need to be revised to/from the Coon Creek Watershed District and Sunrise River Water Management Organization that was approved by the Ham Lake City Council at their May 15, 2023, city council meeting.

May 22, 2023. Minutes Coon Creek Watershed District Board of Manager receiving letter from the City of Ham Lake and ordering a review of the accuracy of jurisdictional Boundary between the Coon Creek Watershed District and Sunrise River Water Management Organization in the City of Ham Lake.

Time: 2023

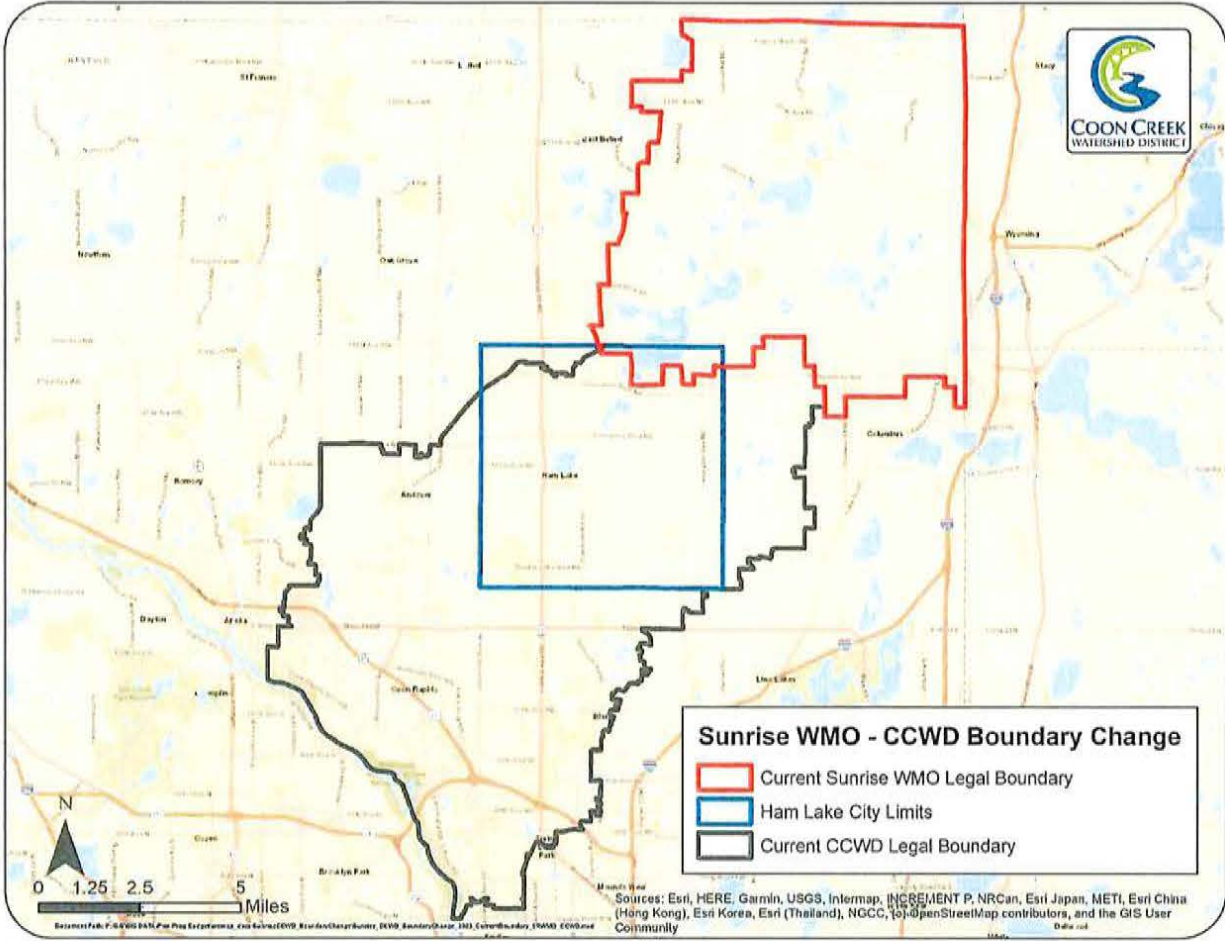
Tak Organization

PETITION ORGANIZATION

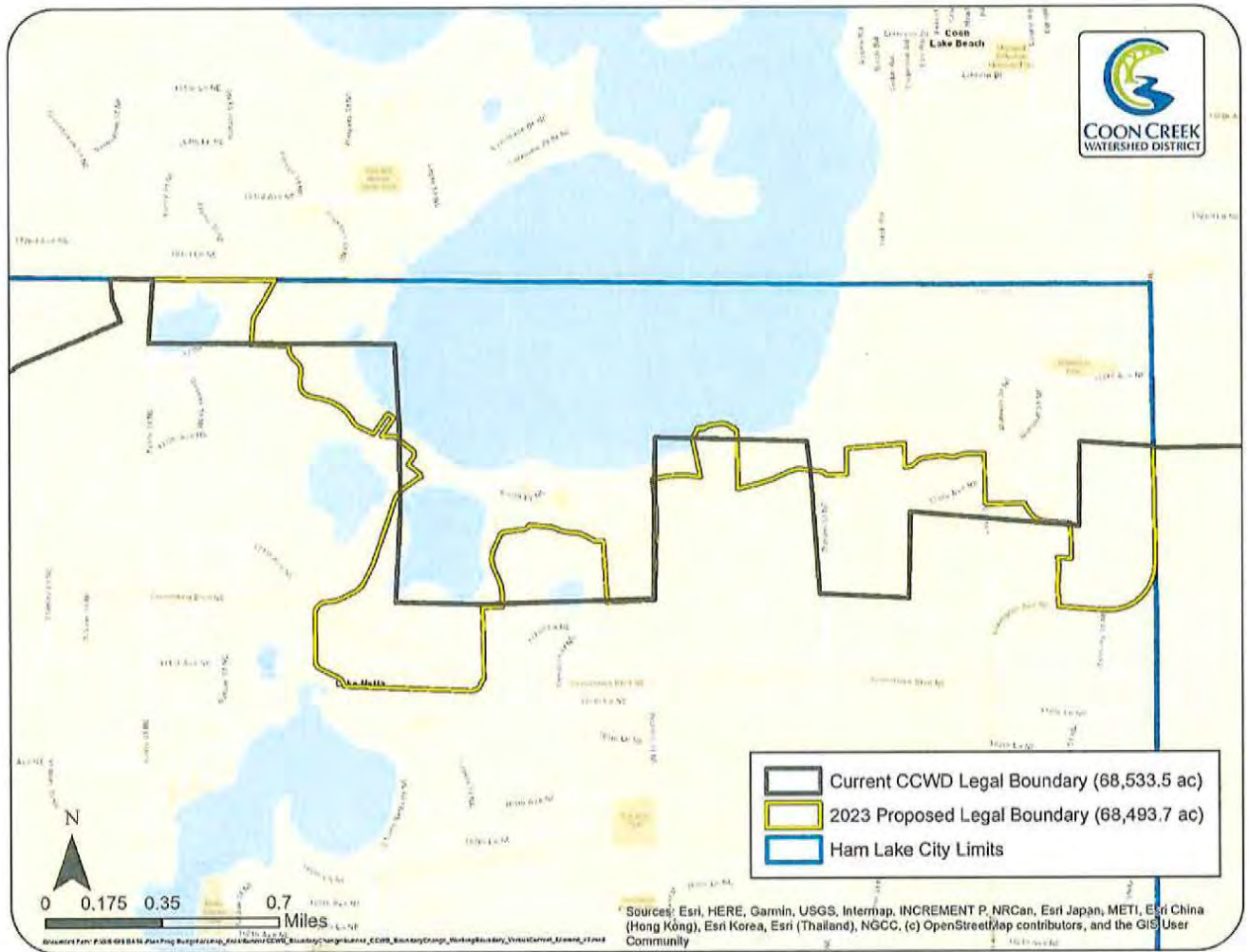
Section	Page
Authorization	2
Situation	3
Goal and Request	10
Proposed New Boundary	11
Coordinating Instructions and Support	11
Affected Parcels: From Coon Creek Watershed District to Sunrise River Water Management Organization	14
Affected Parcels: From Sunrise River Water Management Organization to Coon Creek Watershed District	17
Collaboration, Coordination and Communications	19

SITUATION

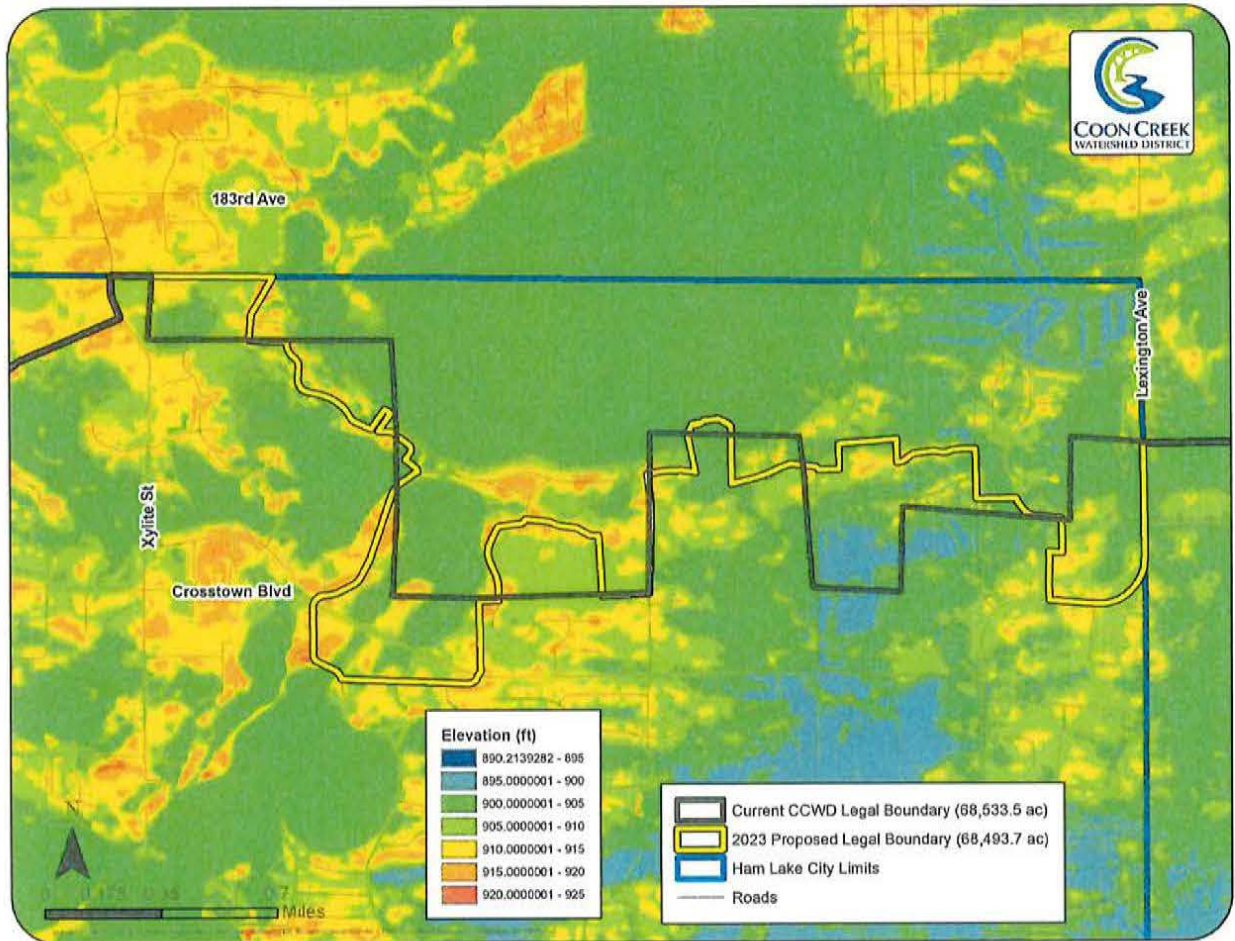
Area of Interest



Area of Operations



Terrain & Topography

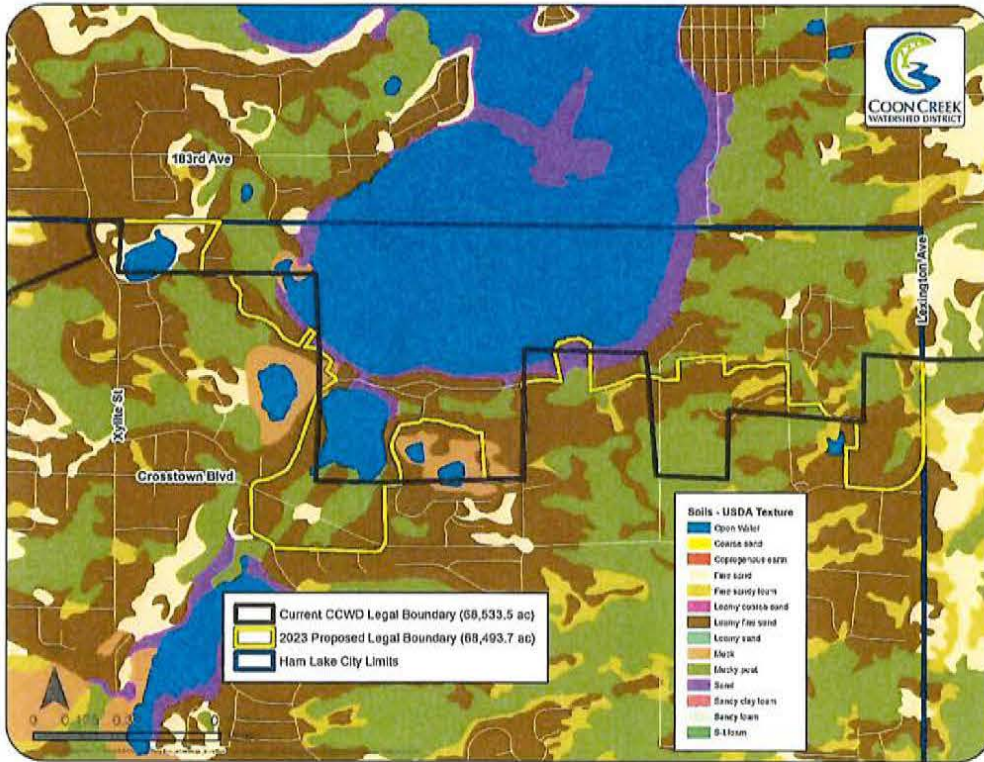


Weather/Hydrology

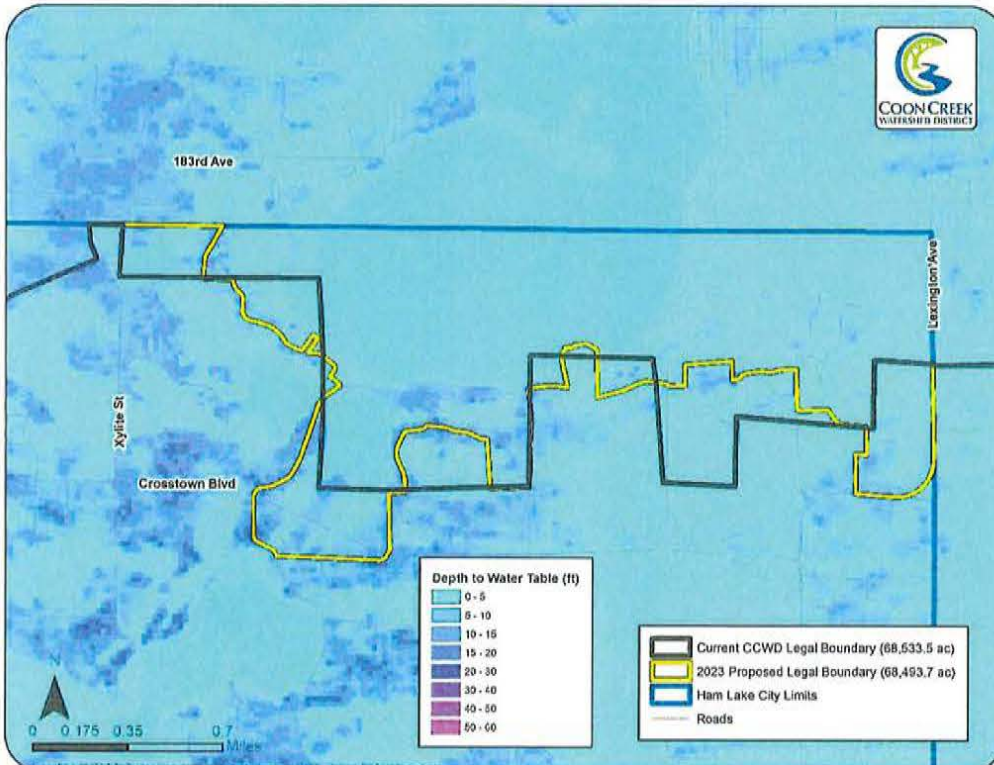
PDS-based precipitation frequency estimates with 90% confidence intervals (in inches) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.359 (0.278-0.461)	0.422 (0.327-0.543)	0.527 (0.407-0.678)	0.615 (0.473-0.794)	0.737 (0.554-0.974)	0.833 (0.615-1.11)	0.931 (0.670-1.26)	1.03 (0.720-1.42)	1.16 (0.790-1.63)	1.27 (0.843-1.80)
10-min	0.525 (0.407-0.675)	0.618 (0.479-0.795)	0.771 (0.596-0.993)	0.900 (0.693-1.16)	1.08 (0.811-1.43)	1.22 (0.901-1.62)	1.36 (0.982-1.84)	1.51 (1.05-2.08)	1.70 (1.16-2.39)	1.86 (1.24-2.63)
15-min	0.641 (0.497-0.823)	0.754 (0.584-0.969)	0.941 (0.727-1.21)	1.10 (0.845-1.42)	1.32 (0.989-1.74)	1.49 (1.10-1.98)	1.66 (1.20-2.25)	1.84 (1.29-2.54)	2.08 (1.41-2.92)	2.26 (1.51-3.21)
30-min	0.908 (0.704-1.17)	1.07 (0.831-1.38)	1.34 (1.04-1.73)	1.57 (1.21-2.03)	1.88 (1.42-2.49)	2.13 (1.57-2.83)	2.38 (1.71-3.21)	2.63 (1.84-3.62)	2.96 (2.01-4.16)	3.22 (2.14-4.56)
60-min	1.18 (0.913-1.51)	1.39 (1.07-1.78)	1.74 (1.35-2.24)	2.05 (1.58-2.65)	2.51 (1.89-3.33)	2.87 (2.13-3.85)	3.26 (2.35-4.43)	3.66 (2.57-5.07)	4.22 (2.87-5.95)	4.67 (3.11-6.62)
2-hr	1.45 (1.13-1.84)	1.70 (1.33-2.16)	2.14 (1.67-2.73)	2.54 (1.97-3.25)	3.13 (2.39-4.14)	3.62 (2.71-4.82)	4.14 (3.02-5.60)	4.70 (3.32-6.47)	5.48 (3.78-7.89)	6.12 (4.10-8.61)
3-hr	1.60 (1.26-2.03)	1.88 (1.48-2.38)	2.37 (1.86-3.01)	2.83 (2.21-3.60)	3.53 (2.72-4.68)	4.12 (3.11-5.49)	4.76 (3.50-6.44)	5.46 (3.89-7.52)	6.46 (4.46-9.05)	7.28 (4.90-10.2)
6-hr	1.87 (1.48-2.34)	2.18 (1.73-2.74)	2.77 (2.19-3.49)	3.32 (2.62-4.20)	4.19 (3.27-5.53)	4.93 (3.78-6.53)	5.74 (4.26-7.73)	6.64 (4.77-9.09)	7.92 (5.52-11.0)	8.98 (6.09-12.5)
12-hr	2.12 (1.70-2.65)	2.49 (2.00-3.10)	3.17 (2.53-3.95)	3.80 (3.02-4.75)	4.77 (3.75-6.23)	5.60 (4.30-7.34)	6.50 (4.86-8.67)	7.48 (5.42-10.2)	8.90 (6.24-12.3)	10.1 (6.86-13.9)
24-hr	2.44 (1.97-3.01)	2.82 (2.28-3.49)	3.53 (2.84-4.36)	4.19 (3.36-5.19)	5.20 (4.12-6.73)	6.07 (4.70-7.90)	7.02 (5.29-9.28)	8.05 (5.87-10.9)	9.54 (6.74-13.1)	10.8 (7.40-14.8)
2-day	2.86 (2.34-3.50)	3.21 (2.62-3.92)	3.87 (3.15-4.74)	4.51 (3.65-5.54)	5.52 (4.43-7.11)	6.41 (5.02-8.29)	7.40 (5.63-9.73)	8.49 (6.25-11.4)	10.1 (7.19-13.8)	11.4 (7.90-15.6)
3-day	3.16 (2.59-3.84)	3.50 (2.87-4.26)	4.16 (3.40-5.07)	4.80 (3.91-5.87)	5.82 (4.69-7.45)	6.72 (5.29-8.64)	7.71 (5.90-10.1)	8.82 (6.52-11.8)	10.4 (7.46-14.2)	11.8 (8.18-16.0)
4-day	3.38 (2.78-4.09)	3.75 (3.08-4.54)	4.44 (3.65-5.39)	5.10 (4.17-6.22)	6.14 (4.96-7.81)	7.05 (5.56-9.01)	8.04 (6.16-10.5)	9.14 (6.77-12.1)	10.7 (7.69-14.5)	12.0 (8.39-16.3)
7-day	3.90 (3.24-4.68)	4.38 (3.63-5.27)	5.23 (4.32-6.30)	5.98 (4.93-7.24)	7.10 (5.74-8.88)	8.03 (6.35-10.1)	9.02 (6.93-11.6)	10.1 (7.48-13.2)	11.5 (8.31-15.5)	12.7 (8.93-17.2)
10-day	4.38 (3.66-5.24)	4.95 (4.13-5.93)	5.91 (4.92-7.09)	6.74 (5.58-8.11)	7.93 (6.41-9.82)	8.88 (7.04-11.1)	9.87 (7.60-12.6)	10.9 (8.12-14.2)	12.3 (8.88-16.4)	13.4 (9.46-18.1)
20-day	5.96 (5.03-7.07)	6.67 (5.62-7.91)	7.84 (6.58-9.31)	8.80 (7.36-10.5)	10.1 (8.24-12.4)	11.2 (8.91-13.8)	12.2 (9.46-15.4)	13.3 (9.93-17.1)	14.7 (10.6-19.3)	15.7 (11.2-21.0)
30-day	7.37 (6.25-8.69)	8.21 (6.95-9.68)	9.55 (8.06-11.3)	10.6 (8.95-12.6)	12.1 (9.89-14.7)	13.2 (10.6-16.2)	14.3 (11.2-17.9)	15.4 (11.6-19.7)	16.8 (12.3-22.1)	17.9 (12.7-23.8)
45-day	9.21 (7.85-10.8)	10.3 (8.73-12.0)	11.9 (10.1-14.0)	13.2 (11.2-15.6)	14.9 (12.2-17.9)	16.1 (13.0-19.6)	17.3 (13.5-21.5)	18.5 (13.9-23.4)	19.9 (14.5-25.8)	20.8 (14.9-27.6)
60-day	10.8 (9.24-12.6)	12.1 (10.3-14.1)	14.0 (12.0-16.4)	15.5 (13.2-18.3)	17.5 (14.3-20.8)	18.8 (15.2-22.8)	20.1 (15.7-24.8)	21.2 (16.0-26.8)	22.6 (16.5-29.2)	23.5 (16.9-31.1)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

Problems, Issues, Concerns
Soils



Depth to Groundwater

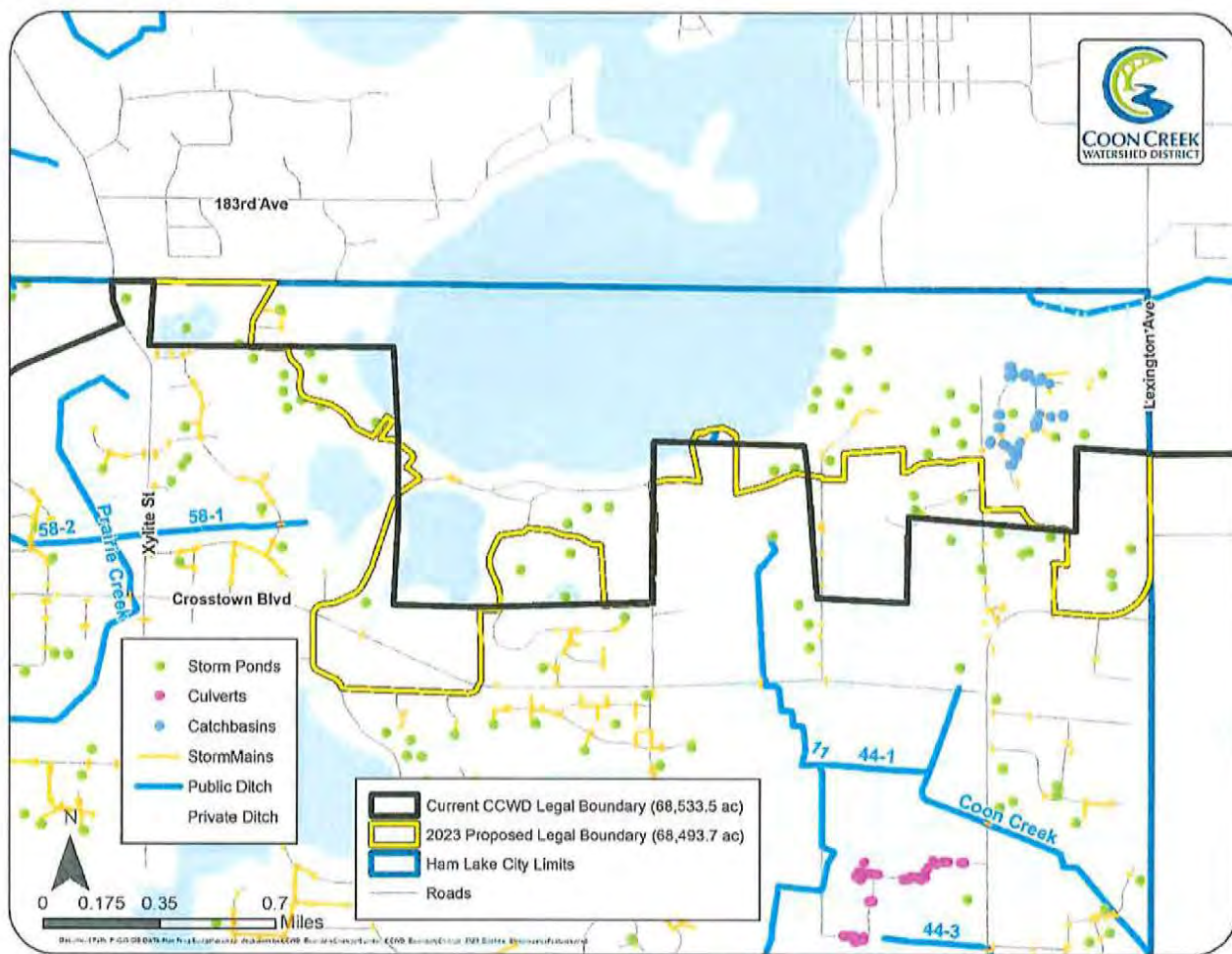


Involved Organizations

Organization	Mission	Intent
Board of Water & Soil Resources	To improve and protect Minnesota's water and soil resources by working in partnership with local organizations and private landowners.	<u>Administers'</u> <ul style="list-style-type: none"> • Metropolitan Water Management Act <ul style="list-style-type: none"> ○ Boundary amendments
Coon Creek Watershed District	<p>To manage groundwater and surface water resources from the perspective of aquifers, watersheds, and river basins to achieve protection, preservation, enhancement, and restoration of the state's valuable groundwater and surface water resources.</p> <p>To conserve the natural resources of the state by land use planning, flood control, and other conservation projects by using sound scientific principles for the protection of the public health and welfare and the provident use of the natural resources</p>	<p>The purposes of the water management programs required by sections 103B.205 to 103B.255 are to:</p> <p>(1) protect, preserve, and use natural surface water and groundwater storage and retention systems;</p> <p>(2) minimize public capital expenditures needed to correct flooding and water quality problems;</p> <p>(3) identify and plan for means to effectively protect and improve surface water and groundwater quality;</p>
Sunrise River Water Management Organization	To manage groundwater and surface water resources from the perspective of aquifers, watersheds, and river basins to achieve protection, preservation, enhancement, and restoration of the state's valuable groundwater and surface water resources.	<p>(4) establish more uniform local policies and official controls for surface water and groundwater management;</p> <p>(5) prevent erosion of soil into surface water systems;</p> <p>(6) promote groundwater recharge;</p> <p>(7) protect and enhance fish and wildlife habitat and water recreational facilities; and</p> <p>(8) secure the other benefits associated with the proper management of surface water and groundwater.</p>

Organization	Mission	Intent
City of Ham Lake	To serve as administrative, commercial, religious, and cultural hubs for their surrounding areas, provide essential public services and protect and provide for the public health, safety and welfare.	<ul style="list-style-type: none"> Flood prevention through storm water management Provide drinking water where demanded. Provide for sewage disposal. Address non-point source pollution as a Municipal Separate Storm Sewer System

Civil Considerations
Stormwater facilities



GOAL

The Board of Water and Soil Resources is being requested to approve a change to the Boundary between the Sunrise River Watershed Management Organization and the Coon Creek Watershed District in Sections 1, 2, 3, 4 and 10 of the City of Ham Lake, Anoka County, Minnesota.

IMPLIMENTATION

Intent

The boundary amendment is intended to achieve a more accurate alignment between the hydrologic and legal boundaries of the two WMOs and to facilitate management and administration.

To achieve this the District will

- Develop a petition that describes the area of the boundary change.
- Document that the proposed change is consistent with the purposes and requirements of the Metropolitan Water Management Act
- Identify the properties subject to drainage by a system established under the Minnesota's Drainage Law
- Seek concurrence that the proposed boundary change is correct and accurate.
- Petition the Board of Water and Soil resources for an order changing the boundaries of the two watershed management organizations.

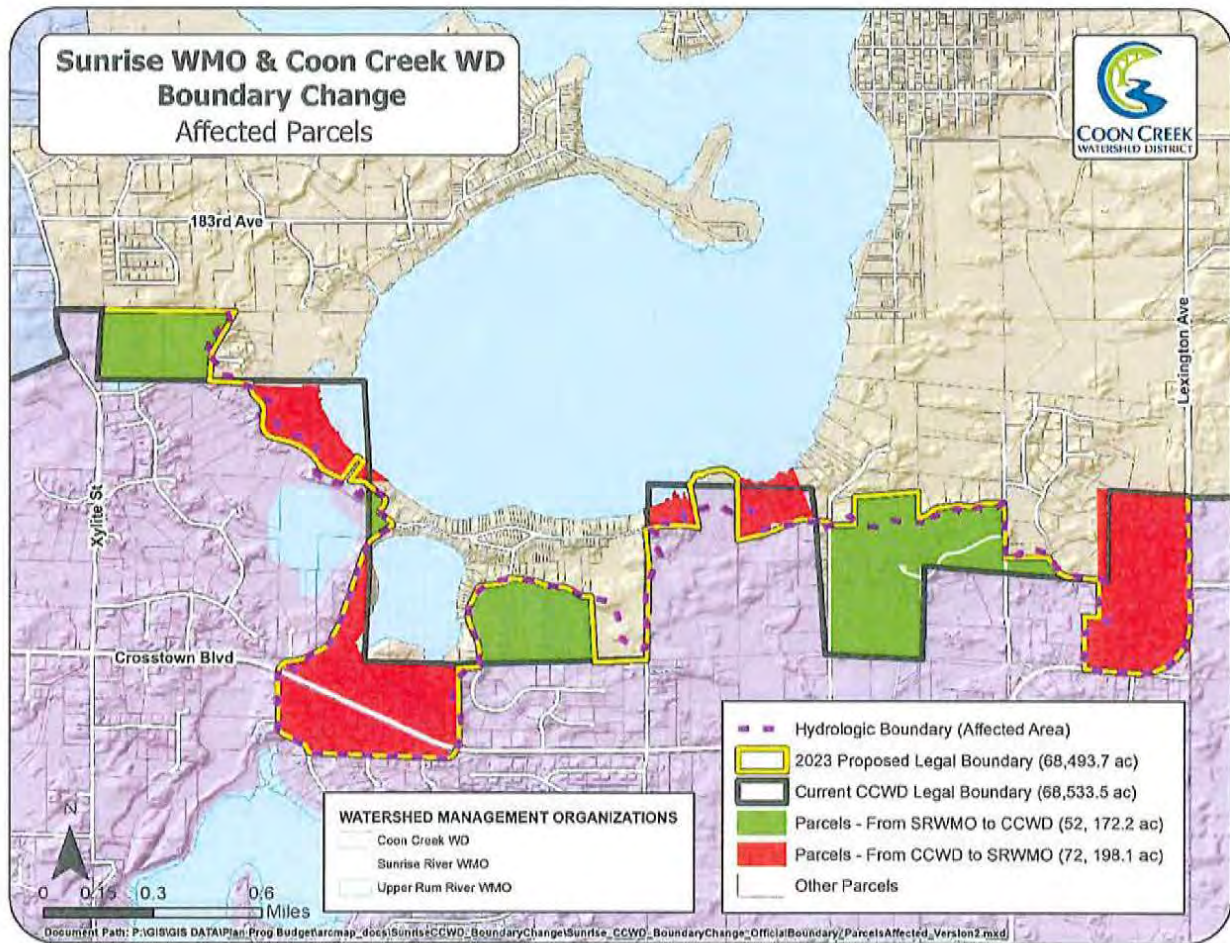
In the end the boundary should be the most practical legal representation by affected parcels of the hydrologic boundary

Approach

To develop the petition the District will follow the following five step process:

1. Review the height of land and hydraulic gradients to determine flow direction.
2. Evaluate the boundary relative to the management of public drainage, stormwater, water quality and wetlands.
3. Field verify the above information
4. Convene technical representatives of the affected units of government to review the analysis of steps 1, 2, and 3.
5. Allocate and reallocate property parcels based.
 - a. Direction of flow for the majority ($\geq 51\%$) of each parcel.
 - b. Review parcels for extenuating circumstances such as frontage on Coon Lake.
 - c. Identify affected parcels by Property Identification Number (PIN)
6. Draft petition and distribute for review and comment or concurrence.

Structure of New Boundary



Coordinating Instructions

Sunrise River Water Management Organization and the City of Ham Lake are requested to

- Review the boundary and either:
 - a. Submit a letter stating that they concur with the boundary change as proposed
 - OR
 - b. Specifically identify the error in the boundary based on the criteria in MS 103B.215 and indicate the correction to be made.

Affected Parcels: From Coon Creek Watershed District to Sunrise River Water Management Organization

Currently in Coon Creek and Moving to Sunrise. 72 parcels comprising 198.1 acres.

PIN	LOC_ADDR	LOC_STAT E	LOC_ZIP	ACT_CITY	ACRES	Boundary Change
33223130005	17855 OAKLAND DR NE	MN	55304	HAM LAKE	2.18	Move to Sunrise
23223410019	4121 INTERLACHEN DR NE	MN	55304	HAM LAKE	3.92	Move to Sunrise
13223430005	17330 OPAL ST NE	MN	55304	HAM LAKE	1.99	Move to Sunrise
23223410018	4109 INTERLACHEN DR NE	MN	55304	HAM LAKE	2.90	Move to Sunrise
33223130007	17817 OAKLAND DR NE	MN	55304	HAM LAKE	2.41	Move to Sunrise
33223130010	17759 OAKLAND DR NE	MN	55304	HAM LAKE	2.37	Move to Sunrise
33223130013	17723 OAKLAND DR NE	MN	55304	HAM LAKE	2.67	Move to Sunrise
103223120006	17143 EAST LAKE NETTA DR NE	MN	55304	HAM LAKE	2.47	Move to Sunrise
103223120007	3109 171ST AVE NE	MN	55304	HAM LAKE	3.04	Move to Sunrise
23223420022	3823 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.40	Move to Sunrise
23223420009	3847 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.92	Move to Sunrise
23223420011	3863 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.41	Move to Sunrise
23223420023	3815 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.47	Move to Sunrise
23223420010	3859 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.45	Move to Sunrise
23223420007	3837 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.39	Move to Sunrise
33223130012	17739 OAKLAND DR NE	MN	55304	HAM LAKE	2.35	Move to Sunrise
33223130011	17751 OAKLAND DR NE	MN	55304	HAM LAKE	2.33	Move to Sunrise
33223130006	17837 OAKLAND DR NE	MN	55304	HAM LAKE	2.44	Move to Sunrise
33223130008	17809 OAKLAND DR NE	MN	55304	HAM LAKE	2.49	Move to Sunrise
23223410017	4055 INTERLACHEN DR NE	MN	55304	HAM LAKE	2.61	Move to Sunrise
33223130009	17763 OAKLAND DR NE	MN	55304	HAM LAKE	2.54	Move to Sunrise
13223430004	4745 LEXINGTON AVE NE	MN	55304	HAM LAKE	1.23	Move to Sunrise
23223410016	4033 INTERLACHEN DR NE	MN	55304	HAM LAKE	2.55	Move to Sunrise
13223410007		MN	55304	HAM LAKE	1.00	Move to Sunrise

PIN	LOC_ADDR	LOC_STAT E	LOC_ZI P	ACT_CIT Y	ACRES	Boundary Change
10322312000 4	17111 EAST LAKE NETTA DR NE	MN	55304	HAM LAKE	0.36	Move to Sunrise
23223420008		MN	55304	HAM LAKE	0.42	Move to Sunrise
23223420004	3833 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.36	Move to Sunrise
23223420006	3827 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.34	Move to Sunrise
23223420012	3873 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.92	Move to Sunrise
23223420026	3805 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.50	Move to Sunrise
23223410023	4015 INTERLACHEN DR NE	MN	55304	HAM LAKE	4.74	Move to Sunrise
33223430023		MN	55304	HAM LAKE	0.44	Move to Sunrise
33223420005	17521 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.32	Move to Sunrise
33223430014		MN	55304	HAM LAKE	0.25	Move to Sunrise
33223430022		MN	55304	HAM LAKE	0.37	Move to Sunrise
33223430024	17431 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.49	Move to Sunrise
33223430016	17309 INTERLACHEN DR NE	MN	55304	HAM LAKE	5.70	Move to Sunrise
33223430003	17351 INTERLACHEN DR NE	MN	55304	HAM LAKE	1.24	Move to Sunrise
33223430013	17365 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.76	Move to Sunrise
33223430011	17409 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.68	Move to Sunrise
33223430012	17419 INTERLACHEN DR NE	MN	55304	HAM LAKE	0.62	Move to Sunrise
33223140001	17679 OAKLAND DR NE	MN	55304	HAM LAKE	1.84	Move to Sunrise
13223410004		MN	55304	HAM LAKE	2.41	Move to Sunrise
13223410006		MN	55304	HAM LAKE	34.52	Move to Sunrise
13223410005		MN	55304	HAM LAKE	0.06	Move to Sunrise
13223440004	17450 LEXINGTON AVE NE	MN	55304	HAM LAKE	8.68	Move to Sunrise
13223440005	17440 LEXINGTON AVE NE	MN	55304	HAM LAKE	2.08	Move to Sunrise
13223440002	4825 LEXINGTON AVE NE	MN	55304	HAM LAKE	4.53	Move to Sunrise
13223440006	17416 LEXINGTON AVE NE	MN	55304	HAM LAKE	1.35	Move to Sunrise
13223440009	4909 LEXINGTON AVE NE	MN	55304	HAM LAKE	2.25	Move to Sunrise

PIN	LOC_ADDR	LOC_STAT E	LOC_ZI P	ACT_CIT Y	ACRES	Boundary Change
13223440010	4853 LEXINGTON AVE NE	MN	55304	HAM LAKE	2.51	Move to Sunrise
13223440007		MN	55304	HAM LAKE	1.65	Move to Sunrise
13223440001	17340 LEXINGTON AVE NE	MN	55304	HAM LAKE	10.38	Move to Sunrise
10322311000 4	3319 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	10.31	Move to Sunrise
10322311001 0		MN	55304	HAM LAKE	2.41	Move to Sunrise
10322312001 3	17229 EAST LAKE NETTA DR NE	MN	55304	HAM LAKE	1.44	Move to Sunrise
10322311000 5	3349 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	4.76	Move to Sunrise
10322311000 6	3369 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	5.32	Move to Sunrise
10322312000 9		MN	55304	HAM LAKE	0.91	Move to Sunrise
10322312001 0	17301 INTERLACHEN DR NE	MN	55304	HAM LAKE	3.75	Move to Sunrise
10322312001 1	3129 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	5.16	Move to Sunrise
10322311000 3		MN	55304	HAM LAKE	7.34	Move to Sunrise
10322312001 6	3130 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	2.28	Move to Sunrise
10322312001 9	3147 171ST AVE NE	MN	55304	HAM LAKE	1.41	Move to Sunrise
10322312001 5	3090 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	3.22	Move to Sunrise
10322312001 7	3150 CROSSTOWN BLVD NE	MN	55304	HAM LAKE	2.53	Move to Sunrise
10322312001 2	17239 EAST LAKE NETTA DR NE	MN	55304	HAM LAKE	1.14	Move to Sunrise
10322312001 4	17189 EAST LAKE NETTA DR NE	MN	55304	HAM LAKE	1.44	Move to Sunrise
10322312001 8	3127 171ST AVE NE	MN	55304	HAM LAKE	1.30	Move to Sunrise
10322311000 9	3235 171ST AVE NE	MN	55304	HAM LAKE	1.52	Move to Sunrise
10322311000 7	3215 171ST AVE NE	MN	55304	HAM LAKE	2.64	Move to Sunrise
10322311000 8	3225 171ST AVE NE	MN	55304	HAM LAKE	1.90	Move to Sunrise

Affected Parcels: From Sunrise River Water Management Organization to Coon Creek Watershed District

Currently in Sunrise moving to Coon Creek. 52 parcels comprising 172.2 acres.

PIN	LOC_ADDR	LOC_ZIP	ACT_CITY	ACRES	Boundary Change
33223210004	17934 CORAL SEA ST NE	55304	HAM LAKE	1.03	Move to Coon Creek
13223310007	4408 176TH LN NE	55304	HAM LAKE	2.54	Move to Coon Creek
13223330007		55304	HAM LAKE	29.04	Move to Coon Creek
13223310015	4505 176TH AVE NE	55304	HAM LAKE	1.22	Move to Coon Creek
13223310022	17508 LEVER ST NE	55304	HAM LAKE	1.40	Move to Coon Creek
13223320018		55304	HAM LAKE	22.95	Move to Coon Creek
33223210005	17958 CORAL SEA ST NE	55304	HAM LAKE	1.63	Move to Coon Creek
13223310008	4420 176TH LN NE	55304	HAM LAKE	1.50	Move to Coon Creek
33223210003	17918 CORAL SEA ST NE	55304	HAM LAKE	1.05	Move to Coon Creek
13223320016	17521 DURANT ST NE	55304	HAM LAKE	1.01	Move to Coon Creek
13223310016	4453 176TH AVE NE	55304	HAM LAKE	1.81	Move to Coon Creek
13223310020	4520 176TH AVE NE	55304	HAM LAKE	1.66	Move to Coon Creek
13223310010	4458 176TH LN NE	55304	HAM LAKE	1.31	Move to Coon Creek
33223210007	18021 CORAL SEA ST NE	55304	HAM LAKE	1.28	Move to Coon Creek
13223310017	4421 176TH AVE NE	55304	HAM LAKE	1.47	Move to Coon Creek
13223310012	4546 176TH LN NE	55304	HAM LAKE	1.29	Move to Coon Creek
33223220003		55304	HAM LAKE	19.58	Move to Coon Creek
23223330052	17453 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.61	Move to Coon Creek
23223330049	3550 WOODLAND DR NE	55304	HAM LAKE	19.04	Move to Coon Creek
23223340010	3620 WOODLAND DR NE	55304	HAM LAKE	0.63	Move to Coon Creek
23223330015	17333 HIAWATHA BEACH DR NE	55304	HAM LAKE	6.13	Move to Coon Creek
23223330013	17443 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.29	Move to Coon Creek

PIN	LOC_ADDR	LOC_ZIP	ACT_CITY	ACRES	Boundary Change
23223330046	17307 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.85	Move to Coon Creek
23223330039	17329 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.84	Move to Coon Creek
23223330047	17327 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.84	Move to Coon Creek
23223330014	17441 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.78	Move to Coon Creek
33223410017		55304	HAM LAKE	3.45	Move to Coon Creek
13223310013	4545 176TH AVE NE	55304	HAM LAKE	1.09	Move to Coon Creek
13223310014	4529 176TH AVE NE	55304	HAM LAKE	1.29	Move to Coon Creek
13223320017		55304	HAM LAKE	1.00	Move to Coon Creek
33223210006	18012 CORAL SEA ST NE	55304	HAM LAKE	2.44	Move to Coon Creek
33223220004	2759 179TH AVE NE	55304	HAM LAKE	10.20	Move to Coon Creek
13223310019	4502 176TH AVE NE	55304	HAM LAKE	1.14	Move to Coon Creek
13223310018	4440 176TH AVE NE	55304	HAM LAKE	1.00	Move to Coon Creek
13223310009	4442 176TH LN NE	55304	HAM LAKE	1.29	Move to Coon Creek
13223420005	17503 LEVER ST NE	55304	HAM LAKE	3.67	Move to Coon Creek
23223330043	17457 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.66	Move to Coon Creek
23223340019	3636 WOODLAND DR NE	55304	HAM LAKE	2.57	Move to Coon Creek
23223330051	17447 HIAWATHA BEACH DR NE	55304	HAM LAKE	0.59	Move to Coon Creek
23223330040		55304	HAM LAKE	0.70	Move to Coon Creek
23223330008	3508 WOODLAND DR NE	55304	HAM LAKE	1.47	Move to Coon Creek
23223330004		55304	HAM LAKE	0.79	Move to Coon Creek
13223310021	4544 176TH AVE NE	55304	HAM LAKE	1.11	Move to Coon Creek
13223310011	4516 176TH LN NE	55304	HAM LAKE	1.01	Move to Coon Creek
23223340017	3608 WOODLAND DR NE	55304	HAM LAKE	0.66	Move to Coon Creek
23223340022		55304	HAM LAKE	5.40	Move to Coon Creek

PIN	LOC_ADDR	LOC_ZIP	ACT_CITY	ACRES	Boundary Change
13223330006		55304	HAM LAKE	0.43	Move to Coon Creek
13223330005	17457 DURANT ST NE	55304	HAM LAKE	4.93	Move to Coon Creek
13223330003	4356 176TH AVE NE	55304	HAM LAKE	1.54	Move to Coon Creek
13223330004	4326 176TH AVE NE	55304	HAM LAKE	1.89	Move to Coon Creek
13223330002		55304	HAM LAKE	0.10	Move to Coon Creek
13223340005		55304	HAM LAKE	0.02	Move to Coon Creek

COORDINATION & COLLABORATION

May 15, 2023. Letter from Ham Lake City Administrator Denise Webster regarding the request to review the hydrologic boundary between CCWD and SRWMO that was approved by the Ham Lake City Council at their May 15, 2023, city council meeting.

May 16-24, 2023. Reviewed the height of land and hydraulic gradients to determine flow direction. Evaluated the boundary relative to the management of public drainage, stormwater, water quality and wetlands. Field verified the above information.

May 25, 2023. Convened technical representatives of the affected units of government to review the analysis of steps 1, 2, and 3. Coordination and boundary review meeting with:

- Jamie Schurbon, Anoka Conservation District, representing Sunrise River WMO
- Tom Colling, RFC Engineering, representing City of Ham Lake
- Tim Kelly, representing Coon Creek Watershed District
- Jon Janke, representing Coon Creek Watershed District

Purpose of meeting

1. Review situation
2. Review and refine GIS and field data,
3. Agree, in principle, to a working boundary line between Sunrise River Water Management Organization and Coon Creek Watershed District

June 26, 2023: Coon Creek Watershed District Board of Managers asked to review and authorize distribution of petition and request letters of concurrence from the City of Ham Lake and Sunrise River Water Management Organization.

Attachments

1. May 15, 2023. Letter from the City of Ham Lake Mayor Kirkham regarding the request to review the hydrologic boundary of parcels in the City of Ham Lake to determine if the jurisdiction of any proprieties need to be revised to/from the Coon Creek Watershed District and Sunrise River Water Management Organization that was approved by the Ham Lake City Council at their May 15, 2023, city council meeting.
2. Letter from the Coon Creek Watershed District to the Sunrise River Water Management Organization and the City of Ham Lake requesting correction or concurrence.



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

May 15, 2023

Tim Kelly, Administrator
Coon Creek Watershed District
13632 Van Buren Street
Ham Lake, Minnesota 55304

Candice Kantor, Chair
Sunrise River Watershed Management Organization
5660 South Linwood Lake Drive
Wyoming, Minnesota 55092

Dear Mr. Kelly and Ms. Kantor:

The City of Ham Lake is requesting that the Coon Creek Watershed District (CCWD) and Sunrise River Watershed Management Organization (SRWMO) review the hydrologic boundary of parcels in the City of Ham Lake to determine if the jurisdiction of any properties need to be revised to/from the CCWD and SRWMO. The review is being requested to achieve an accurate alignment between the hydrologic and legal boundaries between the CCWD and SRWMO, per the Minnesota Statutes 103B.205 definition of a watershed.

Sincerely,

Brian Kirkham
Mayor

cc: Jamie Schurbon, Anoka Conservation District
cc: Tom Collins, City Engineer
cc: Ham Lake City Council

Meeting Date: July 17, 2023



CITY OF HAM LAKE
MEMO

To: Mayor and Councilmembers
Denise Webster, City Administrator

From: Andrea Murff, Finance/HR Director

Subject: Approval of the American Rescue Plan Act Funding for a Washer/Extractor for Fire Station #3 and Creek Valley Street Reconstruction Pay App #2

Introduction/Discussion:

In March of 2021, the U.S. Congress adopted the American Rescue Plan Act (ARPA). The State of Minnesota received approximately \$377 million to allocate out to its jurisdictions with a population below 50,000. In July 2021, the City requested their \$1.776 million allotment and then was notified in December of 2021 an additional \$58,156.72 of unused funds would be distributed bringing the total amount of ARPA funds to approximately \$1.834 million. The funds can be used for costs after March 3, 2021 and must be obligated to an item by December 31, 2024 and distributed by December 31, 2026.

During the March 21, 2022 Council meeting, a resolution was passed determining the City would be using the Revenue Replacement option to expend the funds. The Revenue Replacement option has a standard allowance of \$10M or less to be used for what the City deems necessary.

As of July 12, 2023 there was approximately \$91,568 of unallocated ARPA funds for use. There currently has been \$596,057 expended from the ARPA funds with \$46,459 obligated through Council approval for Public Works Department Expenditures and the Recodification Project for City Code. There has been \$1.1M earmarked for the Revolving Street Fund with \$702,111.75 obligated through Council approval to the Creek Valley Street Construction project.

Fire Raczkowski received a quote from RJ Kool Company for a Washer/Extractor for Fire Station #3 in the amount of \$9,879. This quote is for the equipment and its installation. Fire Chief Raczkowski is requesting approval of \$9,897 in ARPA Funding to cover the equipment and installation.

Finance has received the second pay application from Douglas-Kerr for the Creek Valley Street Reconstruction Project and is requesting to use \$351,464.54 of the earmarked \$1.1M for the Revolving Street Fund. This leave \$46,432.71 for future pay applications for street projects.

The approval of these items would bring the amount of unallocated ARPA funds to \$81,689.

Recommendation:

Approval of the Resolution to allocate \$9,879 of ARPA funding to RJ Kool for the Washer/Extractor for Fire Station #3 and \$351,464.54 to Douglas-Kerr for the Creek Valley Street Reconstruction Project Pay App #2.

RESOLUTION NO. 23-XX

CITY OF HAM LAKE

**RESOLUTION APPROVING AMERICAN RESCUE PLAN ACT FUNDS FOR FIRE
STATION #3 WASHER/EXTRACTOR AND CREEK VALLEY STREET
RECONSTRUCTION PROJECT PAYMENT #1**

**WHEREAS, the City of Ham Lake slated to receive a total of \$1.834M in American
Rescue Plan Act (ARPA) Funding,**

**WHEREAS, on March 21, 2022, City Council approved to use the Revenue Replacement
option for expending the funds and procedures for approving expenditures,**

NOW, THEREFORE, BE IT RESOLVED that the City of Ham Lake allocates ARPA
funding in the amount of \$9,897 for Fire Station #3 Washer/Extractor and \$351,464.54 for the Creek
Valley Street Reconstruction Project payment #2

Adopted by the City Council of the City of Ham Lake this 17th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk

Equipment Proposal

By and Between:

Expiration Date: 8/4/2023

RJ Kool Company
 1475 Commerce Dr., Ste 100
 Mendota Heights, MN 55120
 Phone: (651)286-7841
 www.rjkool.com

Salesman: Dave Steenerson
 Email: dsteenerson@rjkool.com



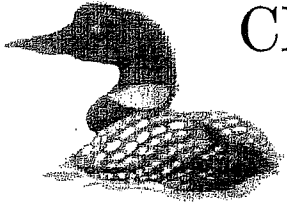
Bill To

**Ham Lake Fire & Rescue New Station
 1544 Central Ave NE, Ham Lake, MN, USA**

Ship To

**Ham Lake Fire & Rescue New Station
 1544 Central Ave NE, Ham Lake, MN, USA**

Part #	Price	Qty	Extend
UCT030QN0GXU70B000 Unimac Cabinet Hardmount Washer-Extractor - 30Lb Capacity, M9 Control Fire Department Cycles, 100G Max Extract, Standard Heat Feature, Vinyl Side Panels, Voltage: 200-208/220-240/50/60/1 Or 3	\$7,820.00	1	\$7,820.00
ACBF30X8X110002 Base Frame 30# 8 Single	\$635.00	1	\$635.00
Installation - Deliver, set in place, level, grout, anchor washer. Connect to existing utilities if meet manufacturers specs and reach. Remove and dispose of old. Startup and train staff in proper use and maintenance	\$1,260.00	1	\$1,260.00
Freight - Best Way from Factory to RJ Kool	\$164.00	1	\$164.00
	Tax		\$0.00
	Total		\$9,879.00



CITY OF HAM LAKE

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Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

PROCLAMATION

OCTOBER OF 2023 IS HEREBY PROCLAIMED AS DOMESTIC VIOLENCE AWARENESS MONTH

WHEREAS, the community problem of domestic violence has become a critical public health and welfare concern in Anoka County; and

WHEREAS, domestic violence is a crime, the commission of which will not be tolerated in Anoka County and perpetrators of said crime are subject to prosecution and conviction in accordance with the law; and

WHEREAS, over thousands of women, men, and children have and will continue to access assistance from Alexandra House, Inc., a domestic violence service provider; and

WHEREAS, domestic violence will be eliminated through community partnerships of concerned individuals and organizations working together to prevent abuse while at the same time effecting social and legal change; and

WHEREAS, October is *National Domestic Violence Awareness Month*; and

WHEREAS, DURING *National Domestic Violence Awareness Month*, Anoka County organizations will inform area residents about domestic violence, its prevalence, consequences and what we, as a concerned community can do to eliminate its existence.

NOW, THEREFORE, BE IT RESOLVED AND KNOWN TO ALL that I, Mayor Brian Kirkham, proclaim October to be *Domestic Violence Awareness Month* in the City of Ham Lake.

Brian Kirkham, Mayor

Meeting Date: July, 17 2023



CITY OF HAM LAKE
STAFF REPORT

To: Mayor and Councilmembers
From: Andrea Murff, Finance/HR Director
Subject: The CenterPoint Energy Community Safety Grant

Introduction/Discussion:

The CenterPoint Energy Community Safety Grant provides financial support for critical safety equipment and safety projects. The City applied for the grant and received \$1,000 to go towards seven multi-gas monitors for the Fire Department.

Recommendation: I recommend approval the grant proceeds of \$1,000 for multi-gas monitors.



505 Nicollet Mall
P.O. Box 59038
Minneapolis, MN 55459-0038

June 15, 2023

Mike Raczkowski, Fire Chief
15544 Central Ave
Ham Lake, MN 55304

Dear Mike,

We are pleased to present the City of Ham Lake with a Community Safety Grant in the amount of \$1000 for (7) multi-gas monitors.

The Community Safety Grant program offers an opportunity for CenterPoint Energy to invest in the cities we serve. For over 150 years we have partnered with communities supporting our shared commitment to safety while delivering safe, reliable natural gas.

Since 2003, the program has awarded more than \$3 million in donations and provided funding to support more than 1,500 projects in communities throughout CenterPoint Energy's service area.

Through the grant program, we help cities leverage local funds to purchase needed safety equipment or support safety projects that are important to your community.

IMPORTANT! Please confirm receipt of the check as soon as possible by emailing me at whitneyjo.peterson@centerpointenergy.com.

Thank you for your efforts to make our communities safer.

Sincerely,

A handwritten signature in cursive script that reads "Whitney Jo Peterson".

Whitney Jo Peterson
Executive Assistant, MN Gas Operations
612-321-5002



Community Safety Grant

CenterPoint Energy is pleased to present the City of Ham Lake with a Community Safety Grant for \$1000 that will be used for (7) multi-gas monitors.

Across our Minnesota service area, CenterPoint Energy awarded nearly \$104,000 to 49 communities to support safety projects in 2023. The Community Safety Grant program helps communities leverage local funds to purchase critical safety equipment or support safety projects that are important to your community.

CenterPoint Energy Community Safety Grants have enabled communities to install public AEDs (automated external defibrillators), update emergency communication equipment, purchase protective gear for first responders, install traffic control signs, purchase gas monitoring devices and more.




CenterPoint Energy is Minnesota's largest natural gas utility, serving 900,000 residential and business customers in more than 260 communities.

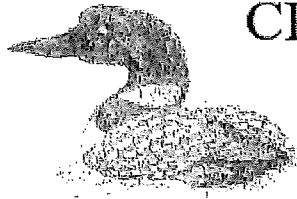
The Community Safety Grant program offers an opportunity for CenterPoint Energy to invest in the communities we serve. For more than 150 years, we have partnered with communities in support of our shared commitment to safety while delivering safe, reliable natural gas.

Since 2003, the Community Safety Grant program has awarded more than \$3 million in donations and provided funding to support more than 1,500 projects in communities throughout CenterPoint Energy's service area.

Thank you for your efforts to make your community safer.

Please feel free to celebrate our support for your community by tagging us on social media:

-  Facebook: CenterPointEnergy
-  Twitter: CenterPoint
-  LinkedIn: centerpoint-energy



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JULY 10, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: June 26, 2023

PUBLIC HEARINGS:

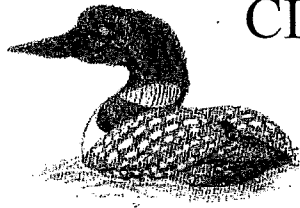
6:01 p.m. None

NEW BUSINESS:

1. Josh Williams, Structural Buildings, requesting Commercial Site Plan approval to construct a 9,352 square foot office/warehouse building for H&H Contracting at 15454 Central Avenue NE

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, JULY 10, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, July 10, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Jeff Entsminger, Scott Heaton, Jonathan Fisher and Erin Dixon

MEMBERS ABSENT: Commissioner Dave Ringler

OTHERS PRESENT: City Engineer Dave Krugler, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Pogalz, seconded by Fisher, to approve the minutes of the June 26, 2023 Planning Commission meeting minutes as written. All present in favor, motion carried.

NEW BUSINESS:

Josh Williams, Structural Buildings, requesting Commercial Site Plan approval to construct a 9,352 square foot office/warehouse building for H&H Contracting at 15454 Central Avenue NE

Mr. Josh Williams and Mr. Eric Hagen were present. Mr. Williams stated H&H Contracting has currently outgrown their current location and needs additional space. Mr. Williams stated the site the new building will be constructed on was previously a single-family home. Chair Pogalz asked Building and Zoning Official Jones to comment. Building and Zoning Official Jones stated the screening on the west side of the parcel looks adequate now due to the leaves on the trees; in the fall when the leaves drop from the trees, it may not be. Building and Zoning Official Jones stated if other vegetation on the west side of the parcel provides adequate screening after the leaves drop from the trees, he does not believe it will be necessary for H&H Contracting to spend additional money on screening. Building and Zoning Official Jones stated that if screening is found to be inadequate after the leaves fall from the trees, H&H Contracting will need to put screening in place to be in compliance with City Code. Chair Pogalz asked Engineer Krugler to comment.

Engineer Krugler stated H&H Contracting will need to sign an encroachment agreement that is being prepared by the City Attorney for a storm pipe that is within a city drainage and utility easement for the proposed driveway and retaining wall. Engineer Krugler stated an NPDES permit has not been received and will be needed before any grading can be done on the site. Commissioner Lejonvarn completed the inspection; a copy which is on file. Commissioner Lejonvarn stated he met with Mr. Williams at the site. Commissioner Lejonvarn stated the west lot line has a great deal of vegetation on it consisting of some tall pine trees and a lot of small trees and brush. Commissioner Lejonvarn stated H&H Contracting has discussed constructing a fence to the west of the filtration basin, but space is limited due to easements. Commissioner Lejonvarn stated he drove to the cul-de-sac near 1255 154th Avenue NE to observe what would be visible to the residents to the west of the site. Commissioner Lejonvarn stated screening is sufficient now though there was some visibility to the site from that location; screening should be re-evaluated in the fall. Chair Pogalz asked Mr. Hagen what plans he had for screening. Mr. Hagen stated landscaping is his business and if screening is needed he would put screening in to comply with City Code. Commissioner Lejonvarn stated the front or east side of the property has a couple hard wood trees and will have a flag pole and retaining wall. Commissioner Lejonvarn stated one to two trees could be added to the eastern side of the property but stated screening should be limited in the right-of-way area as to not block the view of the building. Commissioner Heaton asked how the screening issue should be addressed. Building and Zoning Official Jones stated a temporary certificate of occupancy could be issued and H&H Contracting would have to post financial security if the screening is not adequate in the fall; a final certificate of occupancy would not be issued until screening meets City Code requirements. Commission Dixon asked if anyone has talked with the residents to the west. Mr. Hagen stated he has and the neighbors are excited about the project. Mr. Hagen stated he asked the residents about screening and what type of fence they would prefer if a fence was constructed. Mr. Hagen stated the residents are amenable to any fence material choice H&H Contracting makes. Building and Zoning Official Jones stated if a fence is chosen for screening, the fence height should be considered as large equipment, such as a front-end loader, would be parked within a fenced in area. Mr. Hagen stated they have not decided if screening will be vegetation or fence. Building and Zoning Official Jones stated if H&H Contracting decides to use vegetation for screening, the vegetation must be conifers of sufficient size and proximity to provide an intermingled screen within five years. **Motion by Lejonvarn, seconded by Entsminger, to recommend approval of Josh William's request for Commercial Site Plan approval to construct a 9,352 square foot office/warehouse building for H&H Contracting at 15454 Central Avenue NE subject to adding two trees along the right-of-way line of the public roadway, complying with the screening requirements of the Building and Zoning Official for the west side of the parcel, meeting the requirements of the City Engineer and the Building Official, and meeting all City, County and State requirements. All present in favor, motion carried.** *This application will be placed on the City Council's Monday, July 17, 2023 agenda.*

COMMISSION BUSINESS:

City Council Update

Commissioner Fisher stated the City Council concurred with the Planning Commission's recommendations to approve the Preliminary and Final Plat of Toby's Trails, the Preliminary Plat of Hidden Forest East Fourth Addition and the Commercial Site Plan approval for Jam Hops. A Planning Commissioner will not be present at the July 17, 2023 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 6:16 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 24TH April 2023 *JDW*

Date of Receipt 4/24/23
Receipt # 95799

Meeting Appearance Dates:
Planning Commission 7-10-23 City Council 7-17-23

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*
- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: H&H Contractors

Address/Location of property: 15454 Central Avenue NE Ham Lake, MN

Legal Description of property: Sec 20, Twsp 32, Range 23

PIN # 20-32-23-24-001 Current Zoning CD-2 Proposed Zoning CD-2

Notes: Demo residential home & build a new warehouse/office facility for the H&H Contractors' business operations.

Applicant's Name: Josh Williams

Business Name: Structural Buildings

Address 12926 First Street

City Becker State MN Zip Code 55308

Phone 763-296-5800 Cell Phone 320-248-3870 Fax 763-296-5801

Email address j.williams@structuralbuildings.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE *Josh Williams* DATE 21 April 2023

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 7-10-23
City Council _____

PROPERTY TAXES CURRENT (YES) NO

Attachment to Planning Request

April 21, 2023

Description of Request(s):

Project Name: H&H Facility (Shop/Office)

Nature of Proposed Use:

The Applicant intends to develop the previously residential property into a commercial use facility for its Landscaping & Snow Removal business. This would remove the existing residential structures to build a new shop & office facility with parking & ADA accessibility features.

The new facility would employ approximately 15 employees during regular business hours of Mon-Fri 7am to 5pm. The shop's intended use is for equipment maintenance & washing. The West yard is intended to provide storage of misc. equipment & trailers.

Seeking:

Commercial building site & development approval.

Reasons to Approve Request:

Landscaping Businesses and Office Warehouses are permitted uses in the CD-2 zoning district. References to this can be found in Article 9, Section 9-220.3.b.
Article 9

Meeting Date: July 10, 2023

CITY OF HAM LAKE
STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: H&H Contractors requesting site plan approval to build a 9,352 square foot office/warehouse building at 15454 Central Avenue NE

Introduction/Discussion:

H&H Contractors is a landscaping & snow removal business. H&H Contractors wants to build a 9,352 square foot office/warehouse building at 15454 Central Avenue NE. The main floor will have 6,400 square feet of warehouse space and 2,952 square feet of office space; the second floor will be 1,292 square feet and is intended to be used for storage. One bay in the warehouse will be used for equipment maintenance and to wash equipment and vehicles. The remaining space will be used for storage of equipment and landscaping materials. The west yard will have a Class 2 base and will be used for storage of equipment, trailers and miscellaneous items. Parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer per Articles 9-220.1.a and 11-1851. Fifteen employees will be working on-site. Business hours will be Monday – Friday, 7am to 5 pm.

The west side of the parcel has some deciduous trees which currently provide natural screening, but may not provide proper screening during fall and winter months. Per Article 11-1853, where property lines are adjacent to residential areas, a planting screen of conifers shall be required of sufficient size and proximity to provide an intermingled screen within five years. Also, per 11-1853, decorative trees shall be planted along the right of way lines of adjacent public roadways. The Code does not require a specific number of trees along the right of way lines of adjacent public roadways. The Planning Commission will need to determine the number of trees needed to provide adequate screening along the right of way line.

Recommendation:

I recommend site plan approval for H&H Contracting with the following conditions:

- 1) That parking spaces and the septic system meet the maximum occupancy load of 41.
- 2) Ground work cannot begin until a Coon Creek Watershed District permit and National Pollutant Discharge Elimination system (NPDES) permit have been issued.
- 3) All screening requirements proposed by the planning committee or City Council must be approved by the City Engineer and Building Official before a building permit will be issued.

Memorandum

Date: July 6, 2023
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: H&H Contractors



Introduction:

The proposed 9,352 square-foot H&H Contractors building is located on the 4.75-acre 15454 Central Avenue parcel. The parcel is zoned Commercial Development Tier 2 (CD-2). A 100-scale aerial photo, a 500-scale zoning map and a 400-scale half section map are attached.

Discussion:

The Storm Water Calculations and Report of Geotechnical Explorations received June 20th, Topo Survey, Site Plan, Standard Notes & Specifications, Standard Details, Grading Plan, SWPPP – Standard Notes, SWPPP – Plan View, Utility Plan and Photometrics Plan received June 29th and Retaining Wall Drawings received June 30th address prior review comments.

The attached Landscape Plan with a revision date of June 1st shows existing tree screening to remain to the west and southwest of the proposed building. Per the zoning map, the parcels to the west are zoned Single Family Residential (R-1). Landscaping in commercially zoned areas is to be per 11-1800 of City Code (attached). The Landscape Plan also shows two existing trees to remain and a rock garden and flag pole installed along Central Avenue. Per 11-1853(B) of the City code, decorative trees shall be planted along the right of way lines of adjacent public roadways. 11-1860 allows for case-by-case evaluation for landscape approval and “strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan”. A determination needs to be made as to whether the proposed Landscaping is adequate where adjacent to R-1 zoning and the City Right-of-Way or if additional screening is required.

H&H Contractors was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their June 12th meeting. The Notice of Application Status is attached. The execution of an Operation and Maintenance Agreement for the storm water treatment is required to obtain the CCWD Permit. A CCWD permit is required before grading operations can commence. A MPCA Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

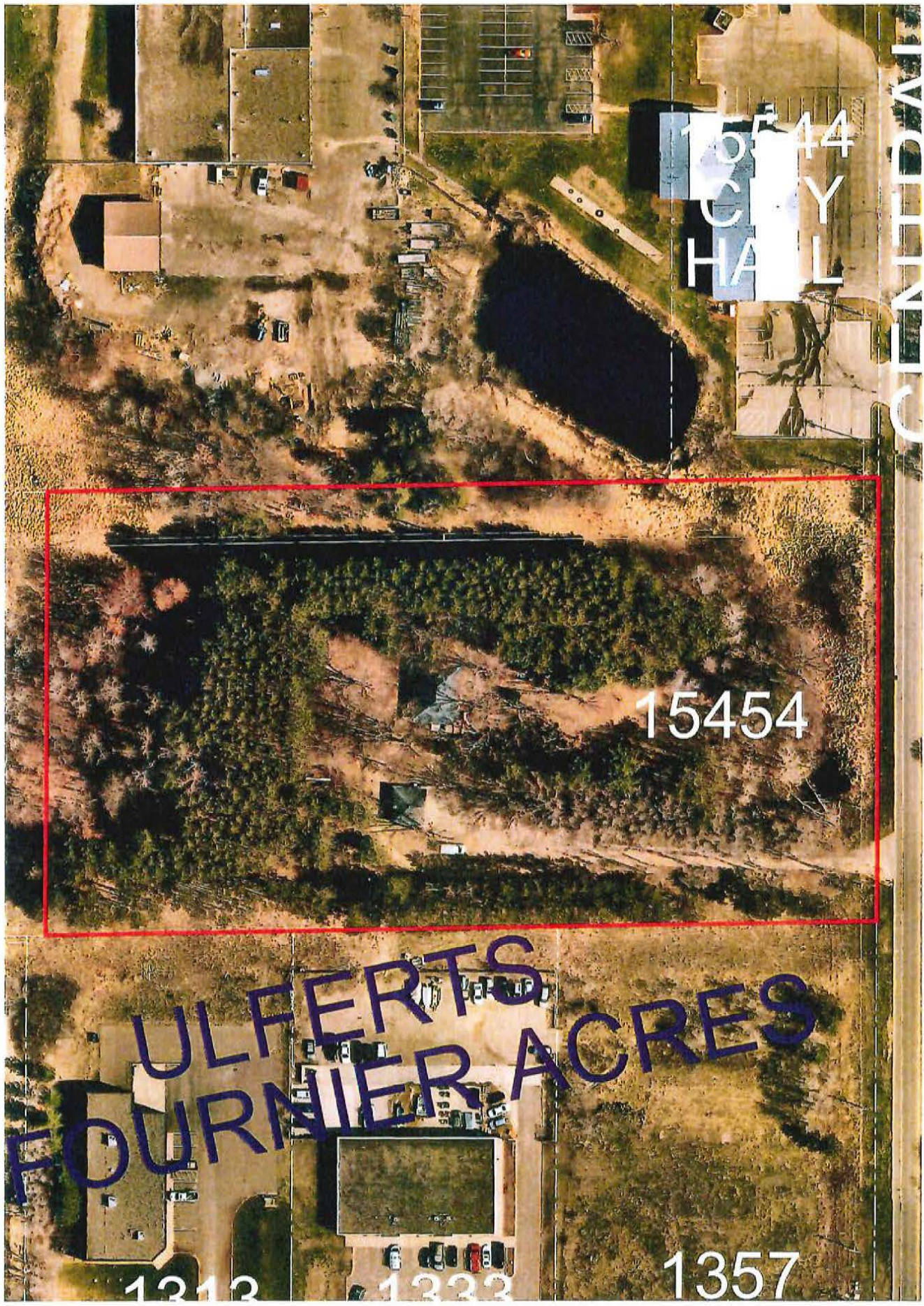
There is a drainage and utility easement over the easterly portion of the parcel which extends beyond the typical 10-foot drainage and utility easement that was obtained during the construction of the streets within Bostrom's Addition and Fredrickson Addition. An Encroachment Agreement will be required for the driveway and retaining wall encroaching into the drainage and utility easement.

There is a Rural Cooperative Power Association (RCPA) easement over the northerly 70-feet of the property as shown on the attached Site Plan and half section map. Great Rivers Energy has jurisdiction over the easement. Per the attached Great River Energy Encroachment Application, encroachments shown on the site plan within their easement are approved.

There is a Minnesota Pipeline Company easement over the southerly portion of the property ranging from 33-feet wide on the east side to 44-feet wide on the west side of the property as shown on the attached Site Plan and half section map. Koch Pipeline has jurisdiction over the easement. No work is proposed within this easement so Koch Pipeline approval is not required.

Recommendation:

It is recommended that the H&H Contractors plans be recommended for approval, including the determination if the proposed screening is adequate.



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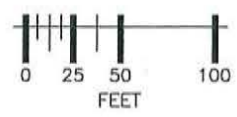
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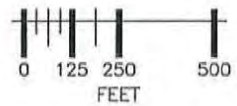
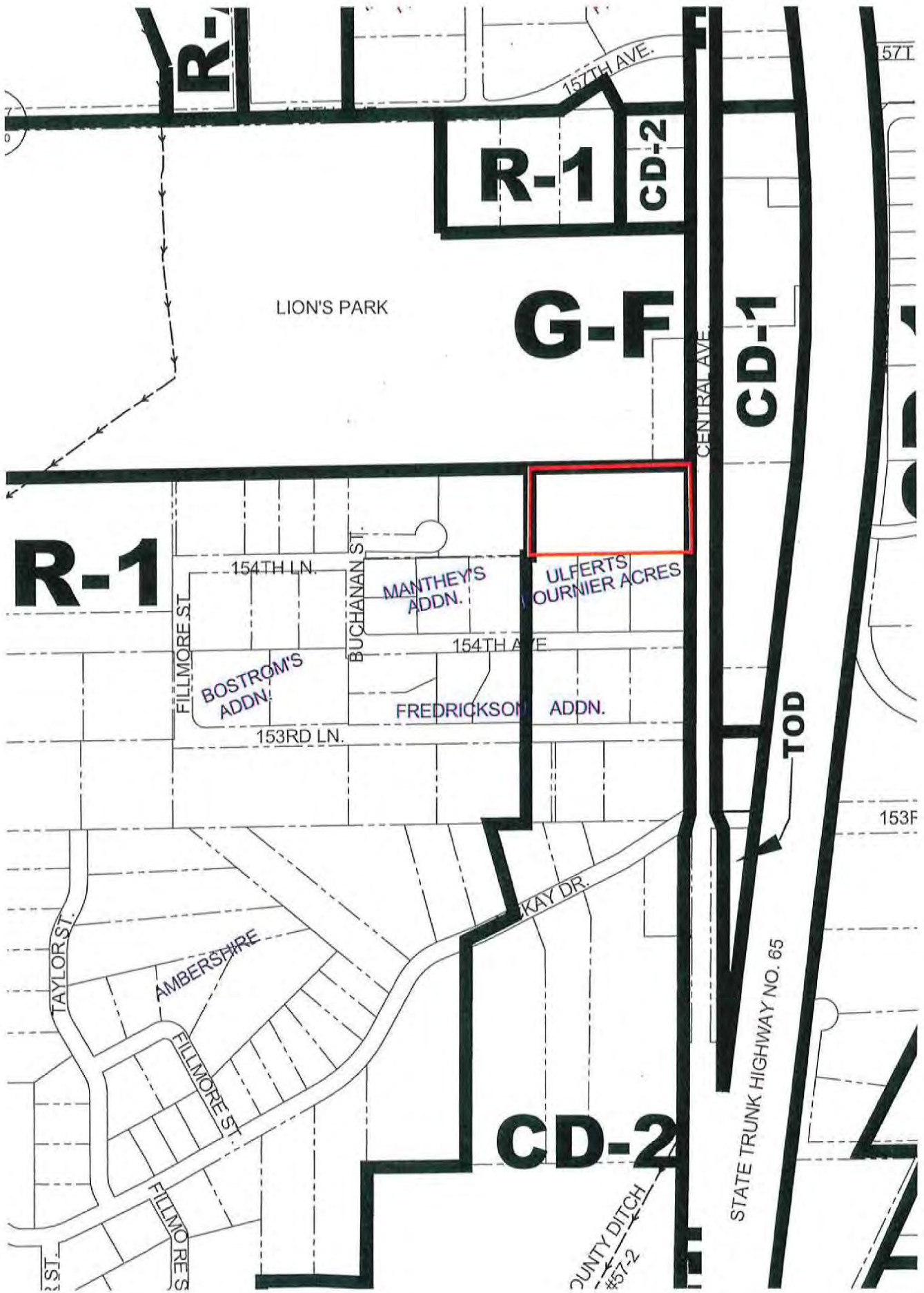
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N 1/2 SECTION 20, T. 32, R. 23

CITY OF HAM LAKE



THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY DEEDS APPLICABLE TO THIS REGION. THIS COMPILATION IS FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES THEREIN CONTAINED.

PROPERTY IDENTIFICATION NUMBER
 Section Township Range Quarter Specific
 Number Number Number Quarter Parcel
 XX XX XX XX XXXX
 SPECIFIC PARCEL NUMBERS ARE IN BRACKETS ()
 EXAMPLE OF PIN NUMBER: 20-23-23-13-010

QUARTER QUARTER INDEX

22	21	24	11
23	24	13	14
33	31	43	41
33	34	41	42

NORTH HALF OF SECTION
 SOUTH HALF OF SECTION

ANOKA COUNTY
 SURVEYOR'S OFFICE
 2100 33RD AVENUE
 ANOKA, MN 55303
 (763) 324-3200



NEW BUILDING FOR: H & H FACILITY 15454 CENTRAL AVE NE HAM LAKE, MN 55304

PROJECT TEAM

GENERAL CONTRACTOR: STRUCTURAL BUILDINGS, INC.
12424 FIRST STREET
BECKER, MN 55308
PHONE: (763) 261-4150

ARCHITECT: COLE GROUP ARCHITECTS
216 PARK AVENUE SOUTH
SUITE 102
ST. CLOUD, MN 56301
PHONE: (320) 454-6510

STRUCTURAL ENGINEERING: DUFFY ENGINEERING & ASSOCIATES
350 HIGHWAY 10 SOUTH
ST. CLOUD, MN 56304
PHONE: (320) 259-6515

CIVIL ENGINEERING: SCHULTZ ENGINEERING & SITE DESIGN
18 SOUTH RIVERSIDE AVENUE
SUITE 230
SARTELL, MN 56311
PHONE: (320) 339-0649

CODE SUMMARY

BUILDING DESCRIPTION:

A NEW ONE STORY 1,048 GROSS S.F. STORAGE WAREHOUSE WITH 4,408 GROSS S.F. TWO STORY OFFICE BUILDING.

CODE SUMMARY:

2020 MINNESOTA STATE BUILDING CODE AND RELATED CODES

- OCCUPANCIES (MNBC CHAPTER 3)
 - S-1 WAREHOUSE (SECTION 311.2)
 - B BUSINESS (SECTION 304)
- OCCUPANCY SEPARATION (MNBC CHAPTER 5):
 - NO SEPARATION REQUIRED
- ALLOWABLE AREA PER FLOOR (MNBC CHAPTER 5 TABLE 508.4)
 - BASIC ALLOWABLE AREA PER FLOOR = 4,000 S.F.
 - FRONTAGE INCREASE = 4,000 S.F. X (1.15) = 4,150 S.F. (SECTION 504.2)
- ALLOWABLE HEIGHT (MNBC CHAPTER 5 TABLE 504.3) 504.4:
 - S-1 OCCUPANCY = 1 STORY / 4'-0"
 - S-1 OCCUPANCY = ACTUAL HEIGHT 1 STORY - 24'-9"
 - B OCCUPANCY = ACTUAL HEIGHT 2 STORIES - 22'-0"
- TYPE OF CONSTRUCTION (MNBC CHAPTER 4):
 - TYPE V-B (NOT RATED)
- FIRE SPRINKLERS (MNBC CHAPTER 9):
 - NOT REQUIRED PER THE FOLLOWING:
 - S-1 FIRE AREA LESS THAN 10,000 SF (ACTUAL 1341 SF)
 - S-1 FIRE AREA NOT LOCATED MORE THAN 3-STORIES ABOVE GRADE (ACTUAL 1-STORY)
 - COMBINED S-1 FIRE AREA LESS THAN 14,000 SF (ACTUAL 1345 SF)
 - TENANTS NOT STORING COMMERCIAL MOTOR VEHICLES
 - TENANTS DO NOT CLASSIFY AS A REPAIR GARAGE
 - TENANTS NOT STORING MORE THAN 20,000 CUBIC FEET OF TIRES (COMBINED)
 - TENANTS NOT STORING MORE THAN 1,000 SF OF UNFURNISHED FURNITURE OR MATTRESSES (COMBINED)
- MEANS OF EGRESS (I.B.C. CHAPTER 10):
 - WASHBAY (S-1 OCCUPANCY)
 - GRADE FLOOR: 1,371 S.F. (TABLE 1004.5)
 - 1,121 S.F. / 500 S.F. PER OCC. = 4
 - 2 EXITS REQ'D - 2 PROVIDED (TABLE 1004.2.1)
 - MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1004.2.3)
 - WAREHOUSE (S-1 OCCUPANCY)
 - GRADE FLOOR: 5,322 S.F. (TABLE 1004.5)
 - 5,322 S.F. / 500 S.F. PER OCC. = 11
 - 2 EXITS REQ'D - 2 PROVIDED (TABLE 1004.2.1)
 - MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1004.2.3)
 - BUSINESS (B OCCUPANCY)
 - GRADE FLOOR: 2,304 S.F. (TABLE 1004.5)
 - 2,304 S.F. / 150 S.F. PER OCC. = 4
 - 2 EXITS REQ'D - 2 PROVIDED (TABLE 1004.2.1)
 - MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1004.2.3)
 - SECOND FLOOR: 1,242 S.F. (TABLE 1004.5)
 - 1,242 S.F. / 150 S.F. PER OCC. = 4
 - 2 EXITS REQ'D - 2 PROVIDED (TABLE 1004.2.1)
 - MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 15'-0" (TABLE 1004.3.3(2))
 - MEZZANINE: 220 S.F. (TABLE 1004.5)
 - 200 S.F. / 200 S.F. PER OCC. = 1
 - 1 EXIT REQ'D - 1 PROVIDED (TABLE 1004.2.1)
 - MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1004.2.3)

TOTAL
41 OCCUPANTS

PLUMBING FIXTURES: (CHAPTER 29 TABLE 2902.1)

- PLUMBING FIXTURES - WATER CLOSETS**
S-1 OCC. (WAREHOUSE - AREAS)
15 OCCUPANTS
1 PER 100 = 15/100 = 0.08 UNISEX
UNISEX - 1 TOILET PROVIDED

- B OCC. (BUSINESS - AREAS)
24 OCCUPANTS/2 = 13 EA M/W
1 PER 25 = 13/25 = 0.52 MEN
1 PER 25 = 13/25 = 0.52 WOMEN
0.52 = (M) MEN REQUIRED
0.52 = (W) WOMEN REQUIRED
MEN - 1 TOILET PROVIDED
WOMEN - 1 TOILET PROVIDED

- PLUMBING FIXTURES - LAVATORIES**
S-1 OCC. (WAREHOUSE - AREAS)
15 OCCUPANTS
1 PER 100 = 15/100 = 0.08 UNISEX
UNISEX - 1 LAVATORY PROVIDED

- B OCC. (BUSINESS - AREAS)
24 OCCUPANTS/2 = 13 EA M/W
1 PER 40 = 13/40 = 0.325 MEN
1 PER 40 = 13/40 = 0.325 WOMEN
0.325 = (M) MEN REQUIRED
0.325 = (W) WOMEN REQUIRED
MEN - 1 LAVATORY PROVIDED
WOMEN - 1 LAVATORY PROVIDED

PLUMBING FIXTURES - SERVICE SINKS

- 1 REQUIRED FOR THE ENTIRE BUILDING PROVIDED

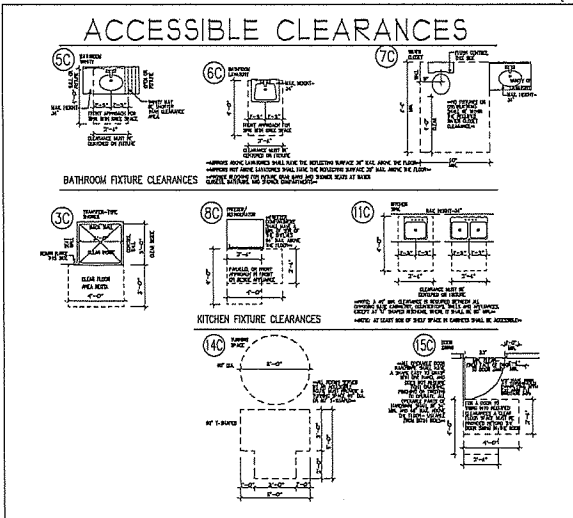
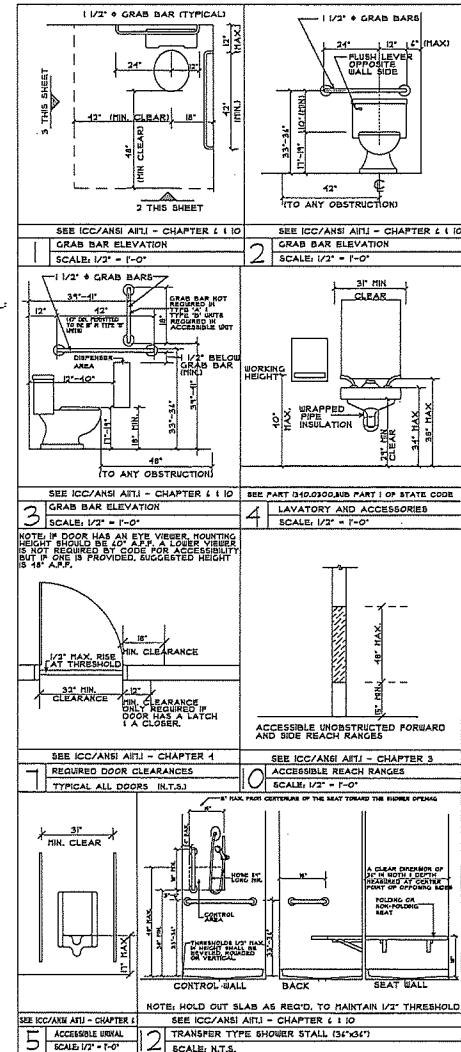
PLUMBING FIXTURES - DRINKING FOUNTAINS

- S-1 OCC. (WAREHOUSE - AREAS)
15 OCCUPANTS
1 PER 1,000 = 15/1,000 = 0.015
B OCC. (BUSINESS - AREAS)
24 OCCUPANTS
1 PER 100 = 24/100 = 0.24
0.015 + 0.24 = (M) REQUIRED
1 PROVIDED

SHEET INDEX

ARCHITECTURAL:

- A001 CODE INFO & ADA DETAILS
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A401 FINISH PLAN & SCHEDULES
- A501 ELEVATIONS
- A701 CROSS SECTIONS
- A801 DETAILS



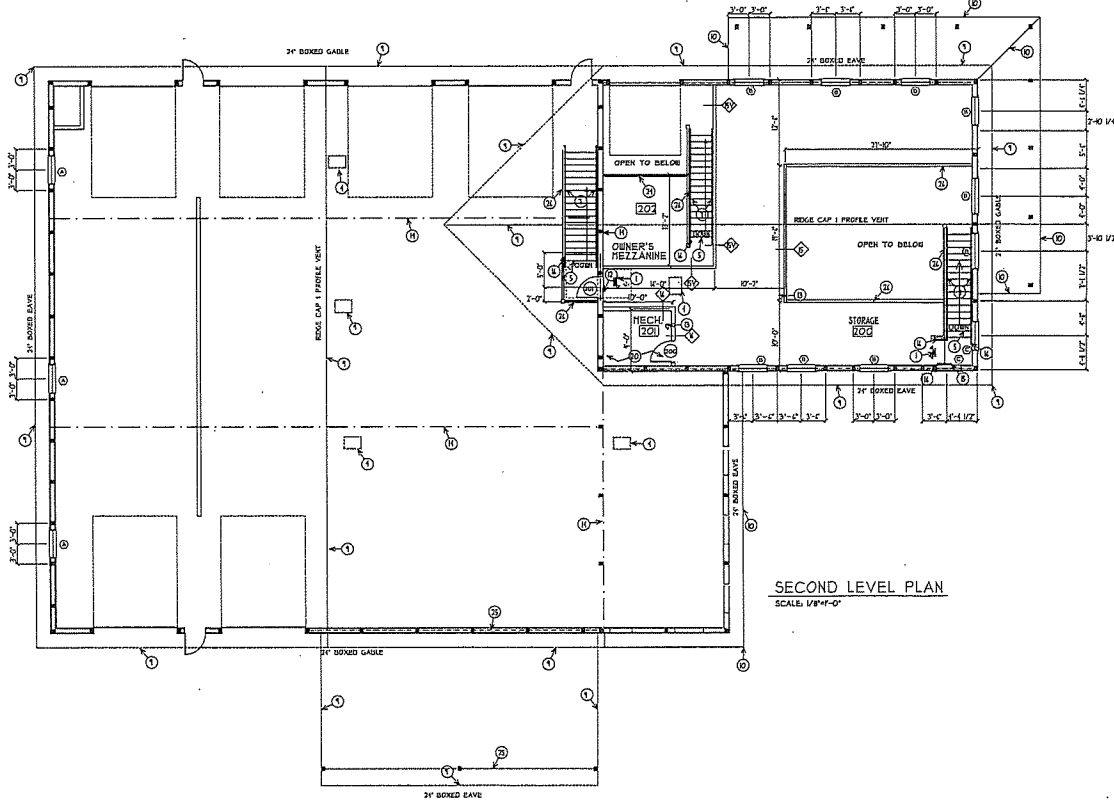
STRUCTURAL BUILDINGS, INC. 15454 CENTRAL AVE NE, HAM LAKE, MN 55304
 PHONE: (763) 261-4150
 PROJECT: H & H FACILITY
 SHEET: A001

GENERAL NOTES:

- A) VERIFY FINISHES w/ GC/OWNER
- B) OFFICE RESTROOMS TO HAVE EPOXY FLOOR COVE 4" BASE AND FAXP. 1/4" AFF. ON MET WALLS ONLY.
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.
- E) ALL DOOR HARDWARE TO BE LEVER TYPE.
- F) VERIFY ALL SPECIALTY EQUIPMENT w/ GC.
- G) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION w/ FIRE MARSHALL.

FLOOR PLAN NUMBER NOTES:

1. EMERGENCY EXIT LIGHTING AS REQ'D. BY CODE. SEE ELECT. PLANS
2. FLOOR DRAIN. VERIFY LOCATION w/ PLUMBING DRAWINGS.
3. STRUCTURAL COLUMN. VERIFY w/ STRUCTURAL DRAWINGS.
4. 2" X 2" MIN. ATTIC ACCESS. VERIFY LOCATION w/ GC.
5. STAIRWAY WITH 3" MAX. RISERS 1" MIN. TREAD DEPTH
6. ACCESSIBLE. LANDING CLEARANCES SHOWN DASHED. SEE DET. MC/AOOL.
7. PROVIDE CONCRETE THRESH 3/16" FOR EXTERIOR DOOR AS REQ'D.
8. LINE OF ROOF BELOW. BULKHEAD ABOVE. SHOWN DASHED.
9. PROVIDE CONTIGUOUS CONCRETE APRON. VERIFY EXTENTS w/ GC.
10. PAINT ON INTERIOR. ACCESSIBLE. DOOR CLEARANCE. SEE DET. 10/AOOL.
11. ATTIC DRAFT STOP EVERY 3000 SF. MAX.
12. EXTEND HANDRAIL AT STAIR ANGLE ONE TREAD DEPTH PAST BOTTOM RISER.
13. EXTEND HANDRAIL 2' HORIZONTALLY PAST TOP RISER.
14. ACCESSIBLE TOILET. PROVIDE GLOSSING. INSTALL GRAB BARS AS REQ'D. SEE DETS. 1-3 1 10/AOOL.
15. ACCESSIBLE LAVATORY TO MEET THE REQUIREMENTS OF DETS. 2, 5C 1 10/AOOL.
16. EQUIPMENT FINE ROOM. SEE MECHANICAL PLANS.
17. ICE MAKER BY OWNER. VERIFY LOCATION WITH OWNER.
18. DOOR WITH TYPED SINGLE CYLINDER.
19. MEZZANINE. VERIFY LOCATION w/ DETAIL 12/AOOL.
20. MEZZANINE. HAVE GUARD RAILINGS 4" AFF.
21. MEZZANINE. VERIFY LOCATION w/ DETAIL 12/AOOL.
22. TRICH BEAM. VERIFY LOCATIONS w/ PLUMBING DRAWINGS. SLOPE FLOOR AS REQ'D.
23. LINE OF UPPER CABINETRY. VERIFY REQUIREMENTS WITH GC.
24. BASE CABINETRY w/ 3/4" COUNTERTOP. VERIFY REQUIREMENTS WITH GC.
25. SINGLE BOWL KITCHEN SINK. SEE 12/AOOL FOR ACCESSIBILITY REQUIREMENTS.
26. ACCESSIBLE RESTROOM. SEE 12/AOOL FOR ACCESSIBILITY REQUIREMENTS.
27. PROVIDE ELECTRICAL OUTLETS AND COUNTERTOP SPACE FOR MICROWAVE.
28. PROVIDE WATER LINE FOR WATER COOLER BY OWNER THIS AREA. SEE PLUMBING PLANS.
29. HAD AREA. VERIFY LOCATION w/ MEP PLANS.
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83. HAD AREA. VERIFY LOCATION w/ MEP PLANS.
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97. HAD AREA. VERIFY LOCATION w/ MEP PLANS.
98. HAD AREA. VERIFY LOCATION w/ MEP PLANS.
99. HAD AREA. VERIFY LOCATION w/ MEP PLANS.
100. HAD AREA. VERIFY LOCATION w/ MEP PLANS.

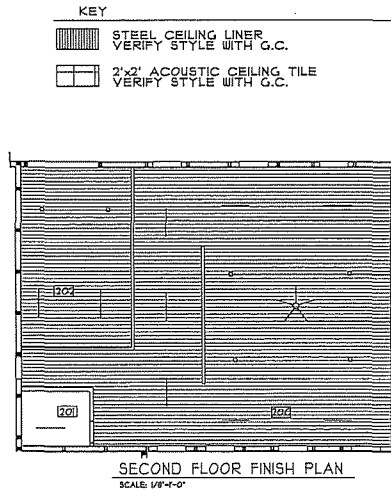
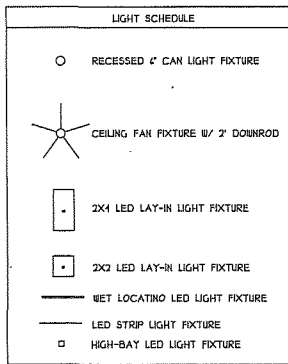


SECOND LEVEL PLAN
SCALE: 1/8"=1'-0"

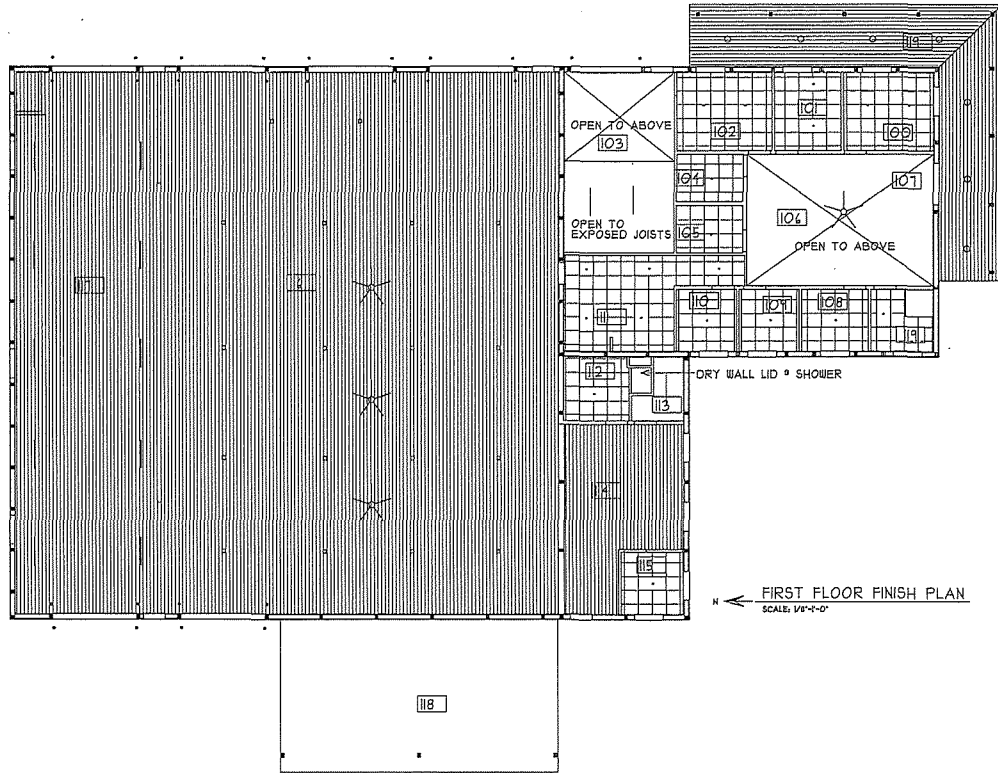
COLE CORP. ARCHITECTS, INC. 500 W. WISCONSIN ST. SUITE 200, MINNEAPOLIS, MN 55401
 PROJECT: PROPOSED BUILDING FOR CITY OF MINNEAPOLIS
 DRAWING: FLOOR PLAN BUILDINGS
 DATE: 01/19/2023
 DRAWN BY: J. J. JENSEN
 CHECKED BY: J. J. JENSEN
 PROJECT MANAGER: J. J. JENSEN
 PROJECT NUMBER: 2023-01-001
 PROJECT ADDRESS: 1234 W. WISCONSIN ST., MINNEAPOLIS, MN 55401
 PROJECT PHONE: (612) 234-4444
 PROJECT FAX: (612) 234-4444
 PROJECT EMAIL: J.J.JENSEN@COLECORP.COM

DOOR SCHEDULE										
LABEL	QTY.	MFG. / MODEL	SIZE	ROUGH OPEN	SLAB MAT.	FRAME MAT.	COLOR	FINISH	HARDWARE	REMARKS
101	1	TO BE DETERMINED	12X4	12'-0" X 11'-0"	STEEL	STEEL	-	-	2 LITE, 1-3/4" IR-48	
102	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	R102	DB, LL	
103	1	TO BE DETERMINED	12X4	12'-0" X 11'-0"	STEEL	STEEL	-	-	2 LITE, 1-3/4" IR-48	
104	1	TO BE DETERMINED	12X4	12'-0" X 11'-0"	STEEL	STEEL	-	-	2 LITE, 1-3/4" IR-48	
105	1	TO BE DETERMINED	12X4	12'-0" X 11'-0"	STEEL	STEEL	-	-	2 LITE, 1-3/4" IR-48	
106	1	TO BE DETERMINED, FLUSH	30x8	-	-	-	-	LH05	DB, LL	
107	1	TO BE DETERMINED, FLUSH	30x8	-	-	-	-	LH05	DB, LL	
108	1	TO BE DETERMINED	12X4	12'-0" X 11'-0"	STEEL	STEEL	-	-	2 LITE, 1-3/4" IR-48	
109	1	TO BE DETERMINED	12X4	12'-0" X 11'-0"	STEEL	STEEL	-	-	2 LITE, 1-3/4" IR-48	
110	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	LH05	DB, LL	
111	1	OPENING	17x4	17'-0" X 11'-0"	-	-	-	-	-	
112	1	OPENING	17x4	17'-0" X 11'-0"	-	-	-	-	-	
113	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	LH05	-	
114	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	LH05	-	
115	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	R105	LL, PRIVATE	
116	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	R105	DB, LL	FIRE RATED
117	1	TO BE DETERMINED	30x8	-	STEEL	STEEL	-	R105	-	
118	1	TO BE DETERMINED	10x10	10'-0" X 10'-0"	STEEL	STEEL	-	-	NO WINDOWS	
119	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	R105	-	
120	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	R105	-	FIRE RATED
121	1	TO BE DETERMINED, 1/2 GLASS	30x8	-	STEEL	WOOD	-	R105	LL, PRIVATE	1/2 GLASS W/ RAISE LOWER TAT BANDS
122	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	R105	LL, PRIVATE	
123	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	LH05	LL, PRIVATE	
124	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	LH05	-	
125	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	R105	-	
126	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	LH05	-	
127	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	LH05	-	
128	1	TO BE DETERMINED, 1/2 GLASS	30x8	-	STEEL	WOOD	-	LH05	-	1/2 GLASS W/ RAISE LOWER TAT BANDS
129	1	TO BE DETERMINED, 1/2 GLASS	30x8	-	STEEL	WOOD	-	LH05	-	1/2 GLASS W/ RAISE LOWER TAT BANDS
130	1	TO BE DETERMINED, TALL GLASS	42x10	-	ALUMINUM	ALUMINUM	-	R104	DB, LL	
131	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	R105	-	
132	1	TO BE DETERMINED, SOLID & PANEL	30x8	-	WOOD	WOOD	-	R105	-	
133	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	LH05	-	FIRE RATED
134	1	TO BE DETERMINED, FLUSH	30x8	-	STEEL	STEEL	-	LH05	-	

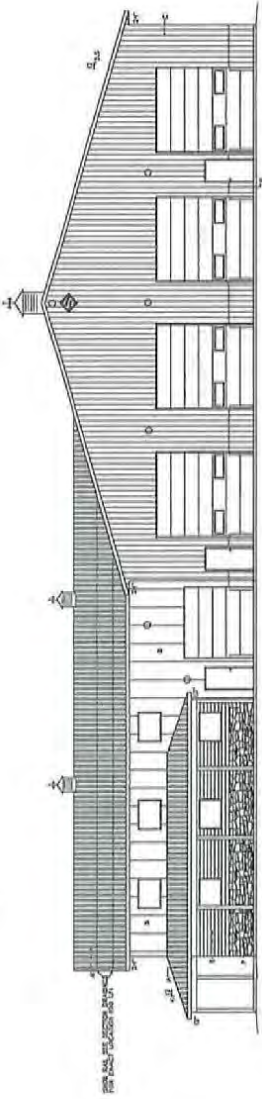
WINDOW SCHEDULE									
LABEL	QTY.	MFG. / MODEL	SIZE	ROUGH OPEN	MATERIAL	FRAME FINISH	COLOR	FINISH	REMARKS
1	1	-	48x24	48'-1/4" X 24'-1/4"	-	-	-	-	-
2	1	-	48x34	48'-1/4" X 34'-1/4"	-	-	-	-	-
3	1	-	48x34	48'-1/4" X 34'-1/4"	-	-	-	-	TEMPERED GLASS
4	1	-	-	-	-	-	-	-	-



ROOM SCHEDULE									
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HT.	REMARKS		
103	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
104	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
105	OWNERS OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
106	OWNERS GARAGE	CONCRETE	4" RUBBER BASE	STEEL	STEEL	8'-0"			
107	BATHROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	7'-8 1/4"	EPOXY PAINT WALLS		
108	BATHROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	7'-8 1/4"	EPOXY PAINT WALLS		
109	CONFERENCE AREA	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	STEEL	8'-0"	OPEN TO ABOVE		
110	ENTRY	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	STEEL	8'-0"	OPEN TO ABOVE		
111	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
112	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
113	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
114	BREAKROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
115	BATHROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	7'-8 1/4"	EPOXY PAINT WALLS		
116	MECHANICAL	CONCRETE	4" RUBBER BASE	SHEETROCK	-	7'-1 1/4"			
117	LOCKERS	CONCRETE	STEEL	STEEL	STEEL	7'-1 1/4"			
118	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-1 1/4"			
119	GARAGE	CONCRETE	STEEL	STEEL	STEEL	8'-0"			
120	WASH BAY	CONCRETE	STEEL	STEEL	STEEL	8'-0"			
121	LEAN TO	CONCRETE	-	-	-	8'-0"			
122	STORAGE	CONCRETE	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/4"			
123	COMPRESSOR UNIT	CONCRETE	4" RUBBER BASE	STEEL	STEEL	8'-4 1/4"			
124	STORAGE	3/4" TIC OSB	STEEL	STEEL	STEEL	7'-10 1/4"			
125	MECHANICAL	3/4" TIC OSB	STEEL	STEEL	STEEL	7'-10 1/4"			
126	OWNERS REZZANIE	3/4" CDX	STEEL	STEEL	STEEL	7'-10 1/4"			
127	-	-	-	-	-	-			
128	-	-	-	-	-	-			
129	-	-	-	-	-	-			

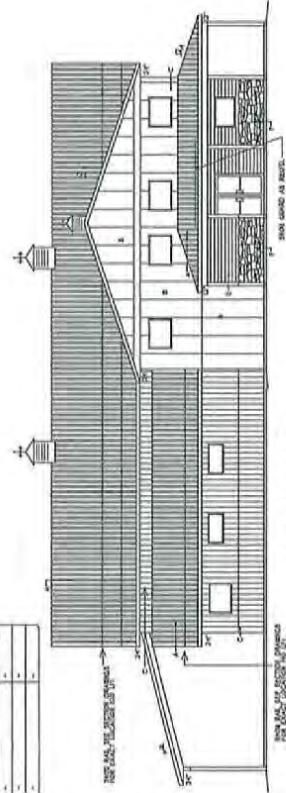


PROJECT: 2301
 DATE: APR 11, 2023
 DRAWING NO: 100-100-100-100
 SHEET NO: 100-100-100-100
 PROJECT LOCATION: 1822 1/2 WISSET STREET, MINNETONKA, MN 55345
 PROJECT OWNER: [REDACTED]
 PROJECT ARCHITECT: [REDACTED]
 PROJECT ENGINEER: [REDACTED]

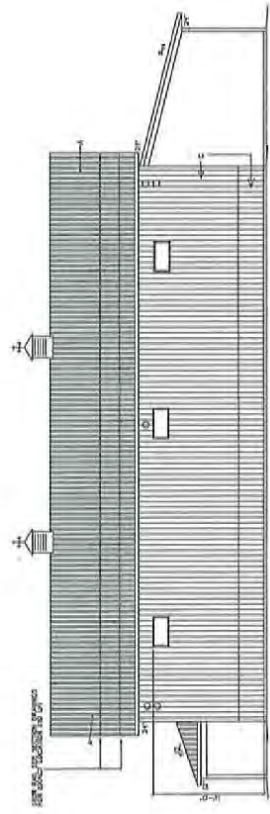


EAST ELEVATION
SCALE 3/8"=1'-0"

LOCATION	PART	STEEL SCHEDULE	DESCRIPTION	VERTICAL / HORIZONTAL	COLOR
A	FACE OF ROOF	BOVY STEEL		-	-
B	ROOF	BOVY STEEL		-	-
C	ROOF PANEL	SHEET METAL W/ MATTER STEPS		-	-
D	ROOF PANEL	STANDARD GULL PANEL		-	-
E	ROOF PANEL	PP LINED BOARD		-	-
F	ROOF PANEL	PP LINED BOARD		-	-
G	ROOF PANEL	PP LINED BOARD		-	-
H	ROOF PANEL	PP LINED BOARD		-	-

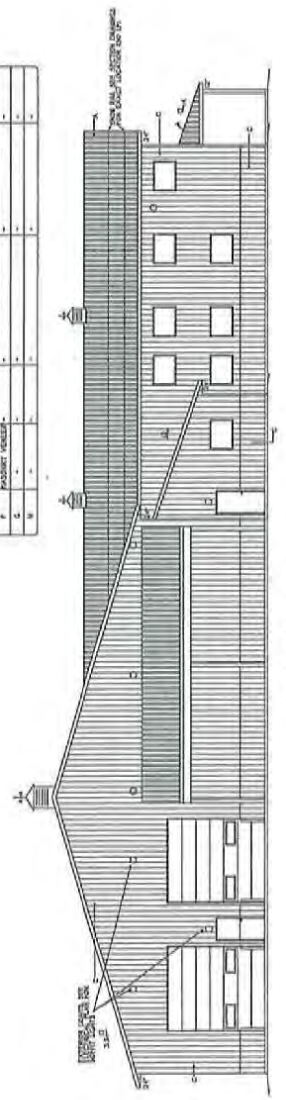


SOUTH ELEVATION
SCALE 3/8"=1'-0"



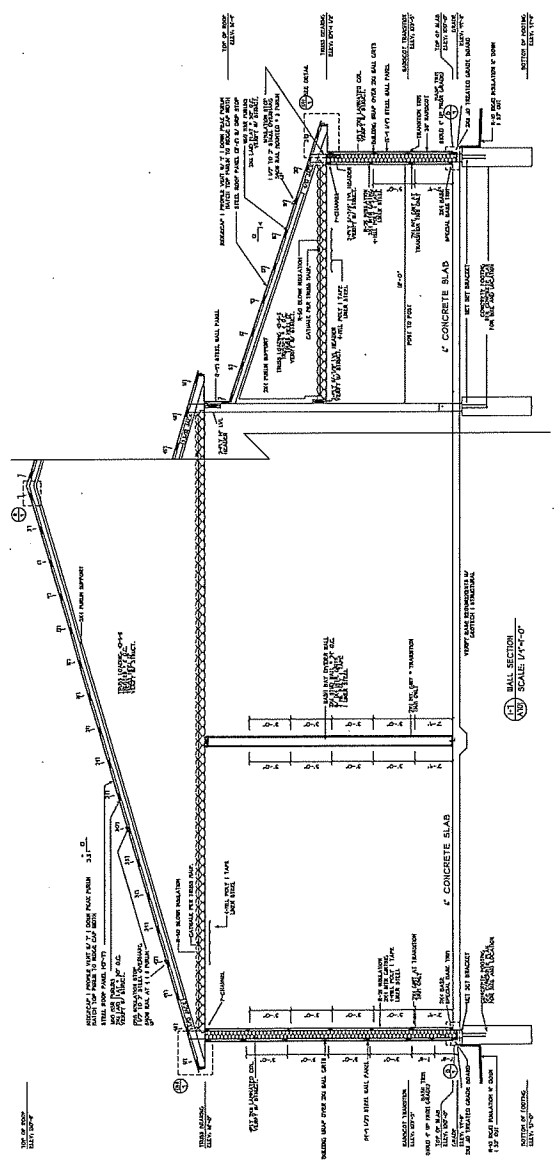
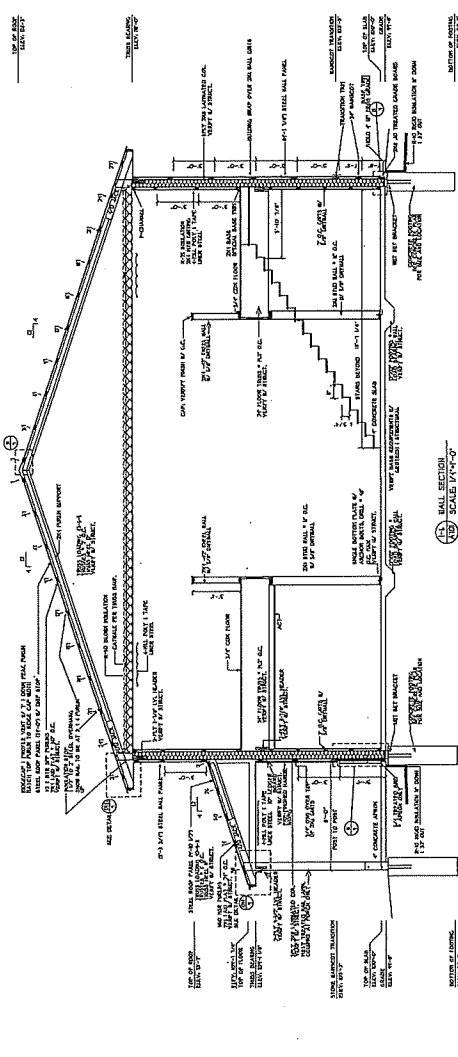
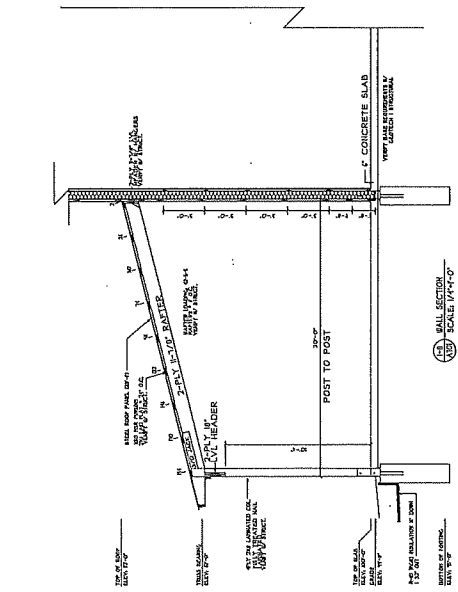
NORTH ELEVATION
SCALE 3/8"=1'-0"

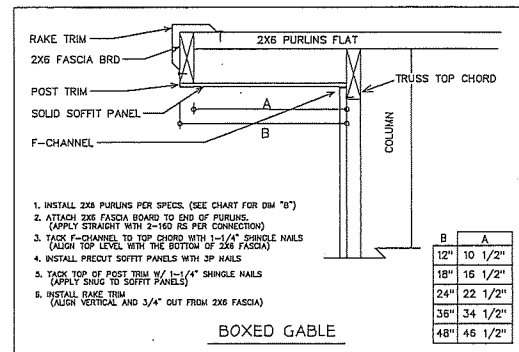
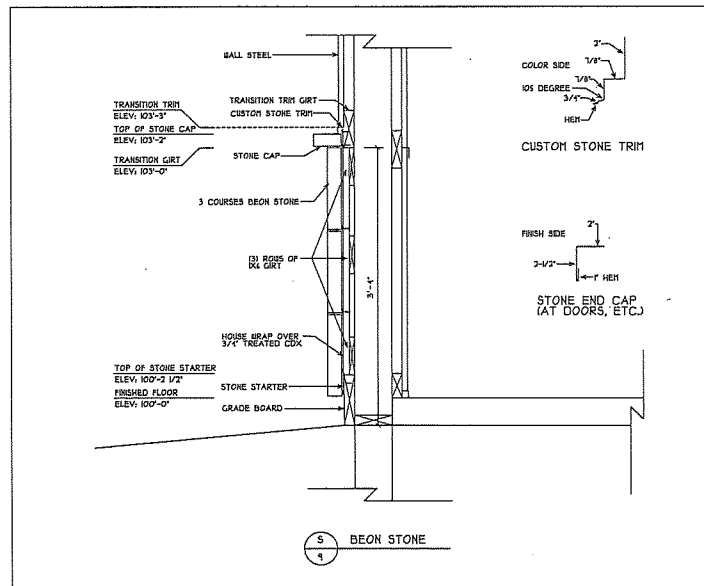
LOCATION	PART	STEEL SCHEDULE	DESCRIPTION	VERTICAL / HORIZONTAL	COLOR
A	FACE OF ROOF	BOVY STEEL		-	-
B	ROOF	BOVY STEEL		-	-
C	ROOF PANEL	SHEET METAL W/ MATTER STEPS		-	-
D	ROOF PANEL	STANDARD GULL PANEL		-	-
E	ROOF PANEL	PP LINED BOARD		-	-
F	ROOF PANEL	PP LINED BOARD		-	-
G	ROOF PANEL	PP LINED BOARD		-	-
H	ROOF PANEL	PP LINED BOARD		-	-



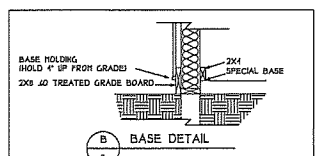
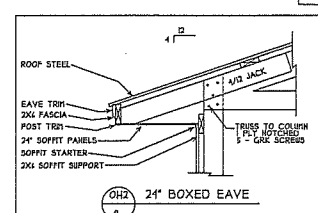
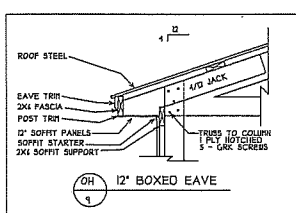
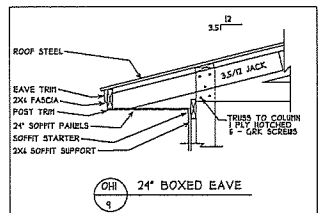
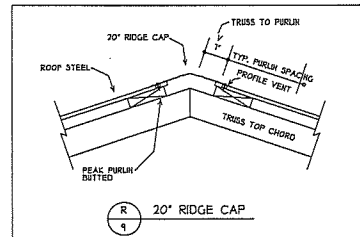
WEST ELEVATION
SCALE 3/8"=1'-0"

THE ENGINEER ARCHITECT HAS PREPARED THESE PLANS FOR THE PROJECT DESCRIBED HEREIN. THE ENGINEER ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROJECT SINCE THE DATE OF THE LAST MEETING. THE ENGINEER ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROJECT SINCE THE DATE OF THE LAST MEETING. THE ENGINEER ARCHITECT HAS NOT BEEN ADVISED OF ANY CHANGES TO THE PROJECT SINCE THE DATE OF THE LAST MEETING.



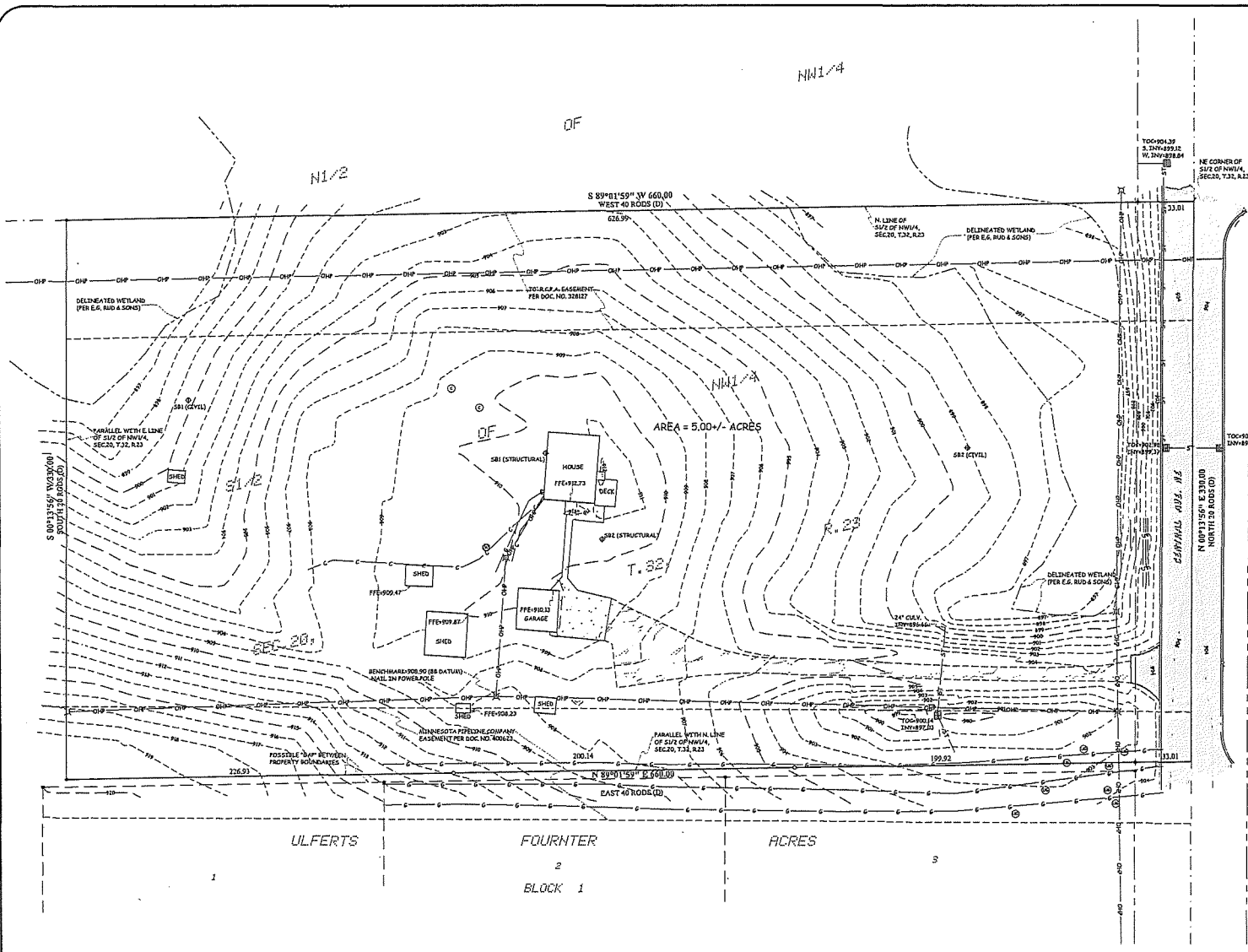


1. INSTALL 2X6 PURLINS PER SPECS. (SEE CHART FOR DIM "B")
2. ATTACH 2X6 FASCIA BOARD TO END OF PURLINS. (APPLY STRAIGHT WITH 2-16D RS PER CONNECTION)
3. TACK F-CHANNEL TO TOP CHORD WITH 1-1/4" SHINGLE NAILS (ALIGN TOP EDGE WITH THE BOTTOM OF 2X6 FASCIA)
4. INSTALL PRECUT SOFFIT PANELS WITH 3P NAILS
5. TACK TOP OF POST TRIM W/ 1-1/4" SHINGLE NAILS (APPLY SHING TO SOFFIT PANELS)
6. INSTALL RAKE TRIM (ALIGN VERTICAL AND 3/4" OUT FROM 2X6 FASCIA)



PROJECT: 04-19-23 FILE 2301P CON: 5
 SHEET: 1 OF 1
 DATE: 04/19/23
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT: 04-19-23 FILE 2301P CON: 5
 SHEET: 1 OF 1
 DATE: 04/19/23
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

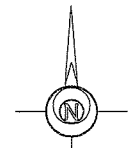
A801



LEGAL DESCRIPTION

(Per Client)
 That part of the South Half of the Northwest Quarter of Section 20, Township 32, Range 23, described as follows, to wit: Commencing at the Northeast corner of the South Half of the Northwest Quarter of Section 20, Township 32, Range 23; thence West on the North line thereof 40 rods; thence South and parallel with the East line thereof 20 rods; thence East and parallel with the North line thereof 40 rods to the East line of said South Half of Northwest Quarter; thence North on said East line to the point of commencement, according to the United States Government Survey thereof and situate in Anoka County, Minnesota.

*The utilities shown herein were located using the Gopher State One-Call system and verified in the field where possible. Private utility locations, such as underground sprinklers, underground service lines, etc. may not have been located. O'Malley & Kron cannot guarantee that all utility companies responded or the accuracy or completeness of the location. Prior to digging, contact Gopher One at 1-800-252-1166 and refer to ticket number 230724586.



Legend
 —○— INDICATES IRON MONUMENT PLACED
 —●— INDICATES IRON MONUMENT FOUND

LEGEND
 —ST— INDICATES STORM SEWER LINE
 —G— INDICATES UNDERGROUND GAS
 —E— INDICATES UNDERGROUND ELECTRIC
 —C— INDICATES UNDERGROUND CABLE
 —OW— INDICATES OVERHEAD POWER
 [] INDICATES CATCH BASIN
 [] INDICATES POWER POLE
 [] INDICATES SOIL BORING
 [] INDICATES GAS PEDESTAL
 [] INDICATES UNDERGROUND GAS SIGN
 [] INDICATES CABLE PEDESTAL
 [] INDICATES SEPTIC CLEANOUT
 [] INDICATES WELL
 [] INDICATES BITUMINOUS SURFACE
 [] INDICATES CONCRETE SURFACE
 [] INDICATES GRAVEL SURFACE

CERTIFICATE OF SURVEY PREPARED FOR:
STRUCTURAL BUILDING
 JOB NO: 2023-85
 FILE NAME: 2023-85.DWG
 LOCATION: 20-32-23

NOTE: THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED.

340 CHAPEL HILL RD.
 COLD SPRING, MN 56201
 PH. 320-685-5905
 FAX 320-685-3056

CERTIFICATE OF SURVEY PREPARED BY:
O'MALLEY & KRON
 LAND SURVEYORS, INC.

1004 2nd ST. SE
 WELLMAR, MN 56201
 PH. 320-235-4012
 FAX 320-685-3056

Revised: 5-24-23; removed proposed septic info.
 I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
 DANIEL M. KRON DATE: 05-23-23
 MINNESOTA REGISTRATION NO. 42621 REVISED 05-02-23

SHEET 1 OF 1

PROJECT NUMBER	15454 CENTRAL AVE NE
CLIENT	H.P.H. LANDSCAPE CONTRACTORS
DATE	04/10/2023
DESCRIPTION	SEE ME DESIGN
NO.	1
DATE	04/10/2023
DESCRIPTION	SEE ME DESIGN
NO.	2
DATE	04/26/2023
DESCRIPTION	REV 04/19/2023 CITY ENGINEER COMMENTS
NO.	3
DATE	04/26/2023
DESCRIPTION	REV 04/26/2023 CITY ENGINEER COMMENTS

SCHULTZ ENGINEERING & SITE DESIGN
 18 South Fairfield Avenue
 Suite 200
 Seattle, WA 98177
 www.schultzeng.com
 Phone: (206) 438-0099
 Fax: (206) 438-0099
 info@schultzeng.com

Drawn: [Signature]
 Checked: [Signature]
 Date: 04/10/2023
 License No.: 43139

The user hereby holds the plans, specifications or report work prepared by me or under my direct supervision and I hold a valid Professional Engineer license in the State of Washington.

SCALE SHEET INDEX

CS1	GENERAL NOTES
CS2	PROPOSED PAVING PLAN
CS3	PROPOSED PAVING PLAN - 11' WALKWAY
CS4	PROPOSED PAVING PLAN - 11' WALKWAY
CS5	PROPOSED PAVING PLAN - 11' WALKWAY
CS6	PROPOSED PAVING PLAN - 11' WALKWAY
CS7	PROPOSED PAVING PLAN - 11' WALKWAY
CS8	PROPOSED PAVING PLAN - 11' WALKWAY
CS9	PROPOSED PAVING PLAN - 11' WALKWAY
CS10	PROPOSED PAVING PLAN - 11' WALKWAY
CS11	PROPOSED PAVING PLAN - 11' WALKWAY
CS12	PROPOSED PAVING PLAN - 11' WALKWAY
CS13	PROPOSED PAVING PLAN - 11' WALKWAY
CS14	PROPOSED PAVING PLAN - 11' WALKWAY
CS15	PROPOSED PAVING PLAN - 11' WALKWAY
CS16	PROPOSED PAVING PLAN - 11' WALKWAY
CS17	PROPOSED PAVING PLAN - 11' WALKWAY
CS18	PROPOSED PAVING PLAN - 11' WALKWAY
CS19	PROPOSED PAVING PLAN - 11' WALKWAY
CS20	PROPOSED PAVING PLAN - 11' WALKWAY

ALTERNATE USES CONSIDERATION

RESIDENTIAL SINGLE-FAMILY
 COMMERCIAL GENERAL
 COMMERCIAL RETAIL
 COMMERCIAL OFFICE
 COMMERCIAL INDUSTRIAL
 COMMERCIAL STORAGE
 COMMERCIAL SERVICE
 COMMERCIAL RECREATION
 COMMERCIAL CULTURAL
 COMMERCIAL EDUCATIONAL
 COMMERCIAL HEALTH CARE
 COMMERCIAL RELIGIOUS
 COMMERCIAL GOVERNMENT
 COMMERCIAL PUBLIC UTILITIES
 COMMERCIAL TRANSPORTATION
 COMMERCIAL AIRPORTS
 COMMERCIAL MARINE
 COMMERCIAL AERONAUTICAL
 COMMERCIAL MARITIME
 COMMERCIAL FISHING
 COMMERCIAL FORESTRY
 COMMERCIAL MINING
 COMMERCIAL QUARRYING
 COMMERCIAL ENERGY
 COMMERCIAL WASTE
 COMMERCIAL HAZARDOUS WASTE
 COMMERCIAL NUCLEAR
 COMMERCIAL SPACE

PROPOSED IMPROVEMENTS

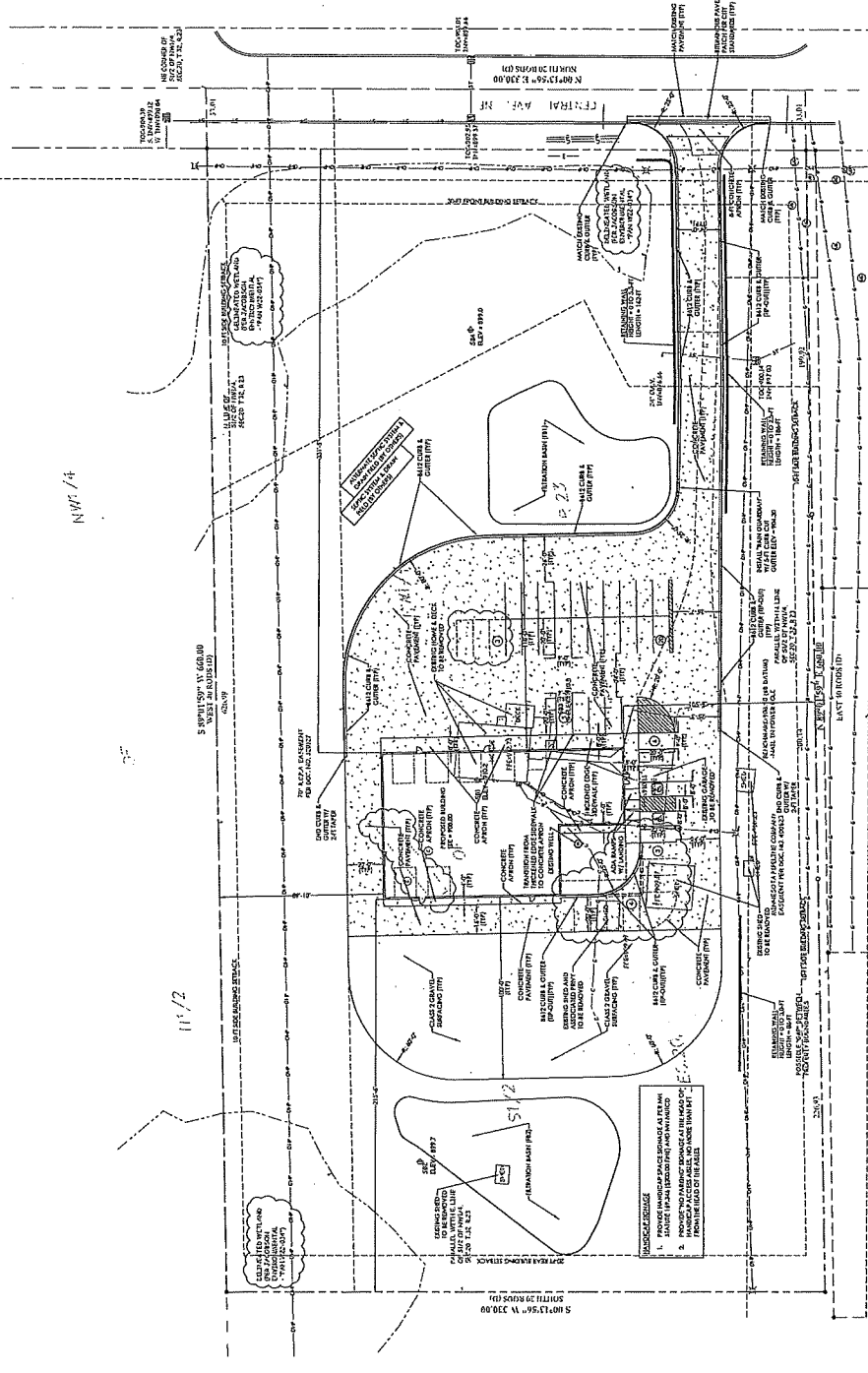
PROPOSED IMPROVEMENTS TO EXISTING PAVING SURFACES TO BE MAINTAINED
 PROPOSED IMPROVEMENTS TO EXISTING PAVING SURFACES TO BE REPLACED
 PROPOSED IMPROVEMENTS TO EXISTING PAVING SURFACES TO BE REMOVED

SURFACING NOTES:

1. IMPROVEMENTS SHALL BE CARRIED OUT AS NEARLY AS POSSIBLE TO THE COMPLETION OF THE PROJECT. ALL IMPROVEMENTS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS.
2. IMPROVEMENTS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS.
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LEGEND

PROPOSED CONCRETE PAVEMENT	①
PROPOSED ASPHALT PAVEMENT	②
PROPOSED GRAVEL PAVEMENT	③
PROPOSED SAND PAVEMENT	④
PROPOSED GRAVEL PAVEMENT	⑤
PROPOSED SAND PAVEMENT	⑥
PROPOSED GRAVEL PAVEMENT	⑦
PROPOSED SAND PAVEMENT	⑧
PROPOSED GRAVEL PAVEMENT	⑨
PROPOSED SAND PAVEMENT	⑩
PROPOSED GRAVEL PAVEMENT	⑪
PROPOSED SAND PAVEMENT	⑫
PROPOSED GRAVEL PAVEMENT	⑬
PROPOSED SAND PAVEMENT	⑭
PROPOSED GRAVEL PAVEMENT	⑮
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ACRES

FOURTEEN

FOURTEEN

N 44° 14'

S 89° 13' 56" W 330.00

11' 1/2

S 89° 13' 56" W 330.00

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PROPOSED IMPROVEMENTS TO EXISTING PAVING SURFACES TO BE MAINTAINED

1. MAINTAIN EXISTING PAVING SURFACES TO BE MAINTAINED.
2. MAINTAIN EXISTING PAVING SURFACES TO BE MAINTAINED.
3. MAINTAIN EXISTING PAVING SURFACES TO BE MAINTAINED.

PROPOSED IMPROVEMENTS TO EXISTING PAVING SURFACES TO BE REPLACED

1. REPLACE EXISTING PAVING SURFACES TO BE REPLACED.
2. REPLACE EXISTING PAVING SURFACES TO BE REPLACED.
3. REPLACE EXISTING PAVING SURFACES TO BE REPLACED.

PROPOSED IMPROVEMENTS TO EXISTING PAVING SURFACES TO BE REMOVED

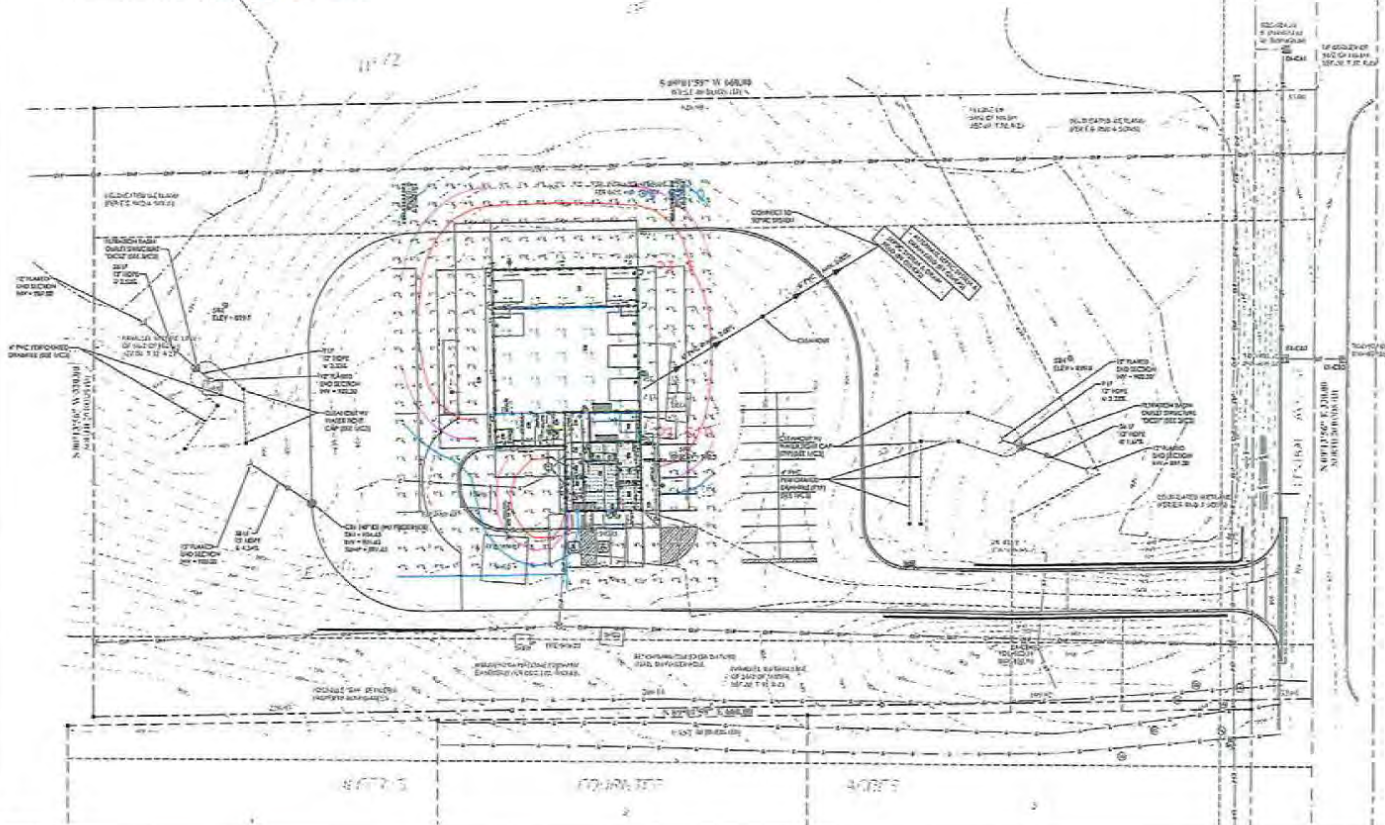
1. REMOVE EXISTING PAVING SURFACES TO BE REMOVED.
2. REMOVE EXISTING PAVING SURFACES TO BE REMOVED.
3. REMOVE EXISTING PAVING SURFACES TO BE REMOVED.



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Planar	Illuminanc	Fc	1.21	6.9	0.0	N.A.	N.A.
Main Floor Workplane	Illuminanc	Fc	0.00	0	0	N.A.	N.A.
Basement Schedule	Illuminanc	Fc	0.00	0	0	N.A.	N.A.

Symbol	Qty	Label	LLF	Description	Lum. Watts
	40	A	0.910	CPHB 12000LM SEF GCL MD 50K 80CRI	87.95
	20	B	0.910	CPX 2X4 ALO8 SWW7 4000K High Lumen	48.53
	10	C	0.910	CSVT L96 10000LM MVOLT SWW3 80CRI	83.9754
	3	B2	0.910	CPX 2X2 ALO7 SWW7 4000K High Lumen	35.8
	11	WP	0.910	W34-55L	51.1
	13	S8	0.910	CSS L96 ALO4 MVOLT SWW3 80CRI (10000LM 5000K)	83.98

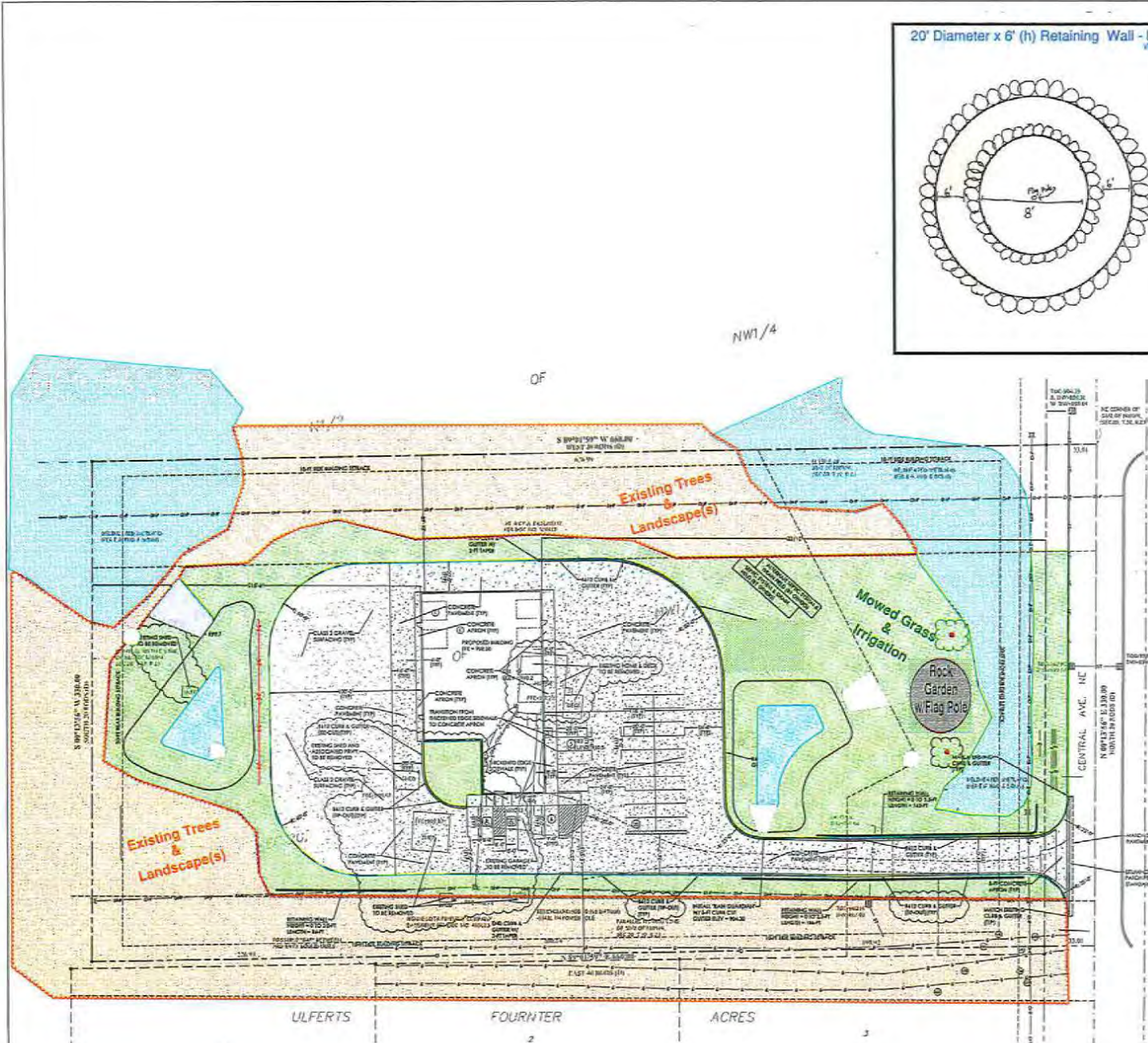


Photometrics/Lighting Plan

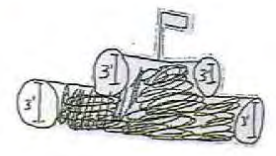
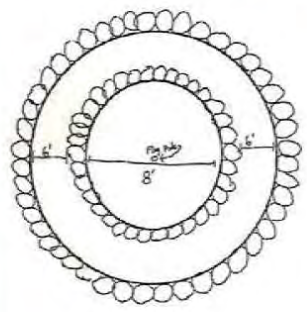
STRUCTURAL BUILDINGS INC.
 OFFICE (163) 24-450
 FAX (163) 24-141



JOB TITLE: H4H FACILITY
 DRAWN BY: AS DATE: 5/10/2023 SALES REP: AL S
 REV. #-DATE: CUSTOMER INITIAL:



20' Diameter x 6' (h) Retaining Wall - Landscape Road Screening Feature Detail
Via Owner



Boulder Wall to be made from 3' boulders.
Base course will be 20' in diameter.
2nd Tier to be 6' inset from outer ring of base course.
3-5" River Rock w/Artemisia Hydrangeas
Standard allowable size flag pole w/5 Post Flag.

Alternate for Screening:
If Weather Fence or Commercial Trees
are not available, use existing trees
- before condition of occupancy

Salvaged Flag Tree

Rock Garden
w/Flag Pole

20' diameter x 6' (h) retaining wall
3-5" River Rock
[12] Artemisia Hydrangeas - Size 3

11-1889 Case by Case Evaluation
Recognizing that the City contains a wide variety of commercial land, the landscaping approval process shall be on a case by case basis. Where setbacks are present, or where large distances separate a commercial lot from adjacent land, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.



STRUCTURAL BUILDINGS INC.
OFFICE (763) 241-4150
FAX (763) 241-4411
12724 FIRST STREET
BECKER, MN 55308



JOB TITLE: H+H FACILITY
DRAWN BY: AS DATE: 5/10/2023 SALES REP: AL 5
REV. # - DATE: 6/1/2023 CUSTOMER INITIAL:

RETAINING WALL DRAWINGS FOR 15454 CENTRAL AVENUE NE HAM LAKE, MINNESOTA

INDEX OF SHEETS

SHEET NO.	TITLE
W1	COVER SHEET/DESIGN INFORMATION
W2-W4	WALL ELEVATION VIEWS(S)
W5	SECTIONS AND DETAILS

DESIGN PARAMETERS AND PROVISIONS

DESIGN PROVISIONS:

- REFER TO BLOCK MANUFACTURER'S STANDARD SPECIFICATIONS AND DETAILS AS THEY ARE INTEGRAL TO THIS PLAN
- THE DESIGN OF THIS RETAINING WALL SYSTEM WAS BASED UPON THE EFFECTIVE STRENGTH PARAMETERS SHOWN ON THE "SOIL VALUES" TABLE. UNLESS OTHERWISE NOTED, NO FORMAL SOIL INFORMATION WAS PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF SOIL CONDITIONS VARY AT TIME OF CONSTRUCTION, WALL ENGINEER MUST BE CONTACTED TO DETERMINE IF A REVISED DESIGN IS NEEDED.
- THE WALL DESIGN WAS BASED ON THE INFORMATION NOTED IN THE KEY PLAN.
- REFER TO WALL CALCULATIONS FOR BEARING CAPACITY REQUIREMENTS.
- NO PRODUCT/MATERIAL SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN PERMISSION OF CRITERIUM-SCHIMMOWSKI ENGINEERS.
- FINAL SITE GRADES AND ROOF DRAINS SHALL DIRECT RUNOFF AWAY FROM ANY RETAINING WALL(S). UNLESS OTHERWISE NOTED, THE WALL(S) HAS NOT BEEN DESIGNED FOR HYDROSTATIC SURCHARGE LOADING.
- THE WALL DESIGN WAS PERFORMED USING DESIGN GUIDELINES PRESENTED IN THE THIRD EDITION OF THE "DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS" PUBLISHED BY NCEM AND FHWA ROCKERY DESIGN AND CONSTRUCTION GUIDELINES.

DESIGN LIMITATIONS:

- THE INFORMATION PROVIDED WITHIN THESE DOCUMENTS IS FOR THE STRUCTURAL DESIGN OF THE PROPOSED RETAINING WALL(S) ONLY. THE REQUIREMENTS FOR AND/OR WORK RELATED TO HANDRAILS, GUARDRAILS, OR OTHER LIFE/SAFETY ISSUES ARE EXCLUDED FROM THESE DOCUMENTS AND ARE TO BE PROVIDED BY OTHERS.
- SITE LAYOUT AND GRADING DESIGN ARE NOT INCLUDED IN WALL DESIGN SERVICES. THOSE SERVICES ARE THE RESPONSIBILITY OF THE SITE CIVIL ENGINEER.
- INTERNAL COMPOUND STABILITY (ICS) HAS BEEN CALCULATED FOR THIS PROJECT BY CRITERIUM. HOWEVER, ICS IS NOT A SUBSTITUTE FOR A GLOBAL STABILITY ANALYSIS WHICH SHOULD BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER. ADDITIONAL SUBSURFACE EXPLORATION MAY BE REQUIRED.

SUGGESTED QUALITY ASSURANCE REQUIREMENTS:

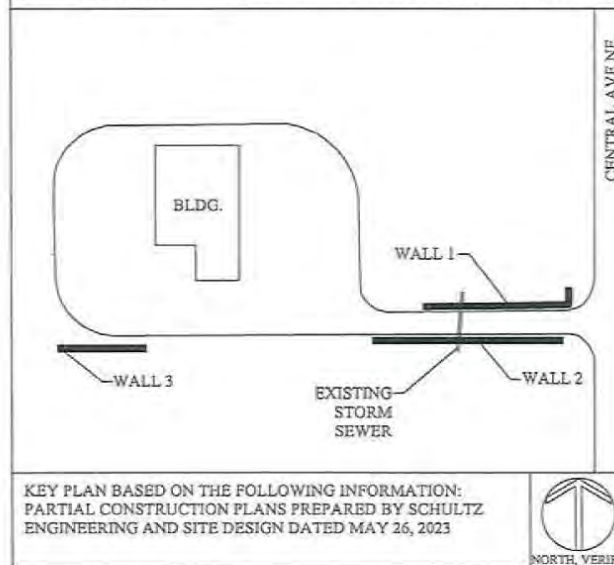
- A QUALIFIED ENGINEER OR TECHNICIAN SHALL SUPERVISE THE WALL CONSTRUCTION TO VERIFY SITE SOIL CONDITIONS. IF THE PROJECT GEOTECHNICAL ENGINEER DOES NOT PERFORM THIS WORK, A QUALIFIED GEOTECHNICAL ENGINEER/TECHNICIAN SHALL BE HIRED TO ASSURE THE RETAINING WALL IS CONSTRUCTED WITH PROPER SOIL PARAMETERS.
- A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO VERIFY THE SUITABILITY OF DESIGN ASSUMPTIONS MADE BY CRITERIUM.
- WALL EXCAVATION AND SOILS SHALL BE INSPECTED FOR GROUNDWATER CONDITIONS. THE GEOTECHNICAL ENGINEER SHALL DETERMINE ADDITIONAL DRAINAGE PROVISIONS TO BE INCORPORATED INTO THE WALL DESIGN.
- THE WALL DESIGN ENGINEER SHALL BE HIRED TO PERFORM A PRE-CONSTRUCTION SITE VISIT.
- THE WALL DESIGN ENGINEER CAN BE HIRED FOR CONSTRUCTION OBSERVATION SERVICES.
- THE WALL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING QUALITY CONTROL FOR THE CONSTRUCTION OF THE WALL IN ACCORDANCE WITH CONTRACT REQUIREMENTS. SEE PROJECT CONTRACT DOCUMENTS FOR SPECIFIC DETAILS ON THE SCOPE OF WORK THAT WILL BE PROVIDED BY ALL PARTIES.

ESTIMATED PROJECT QUANTITIES

WALL FACE*	1521 SQ. FT.	431 LIN. FT.	FIELDSTONE BOULDERS
GEO-GRID*	0 SQ. YDS.	---	NOT REQUIRED

*ACTUAL QUANTITIES MAY VARY AND SHOULD BE FIELD VERIFIED BY CONTRACTOR.

RETAINING WALL LAYOUT KEY PLAN (NOT TO SCALE - REFER TO PROJECT PLANS FOR ACTUAL LOCATION)



DOCUMENT ISSUE RECORD

ISSUE	DATE	DESCRIPTION
#1	6-30-2023	CONSTRUCTION DOCUMENTS
#2	6-30-2023	REVIEW COMMENTS (6-30-2023)

TYPICAL ANGLES OF INTERNAL FRICTION & UNIT WEIGHTS OF SOILS

TYPE OF SOIL*	FRICTION ANGLE (DEGREES)	UNIT WEIGHT (lb/ft ³)
COARSE TO MEDIUM SAND	37-42	140
FINE/SILTY SAND	33-40	130
CLAYEY SAND	28-35	130
SILT/CLAY	25-32	120

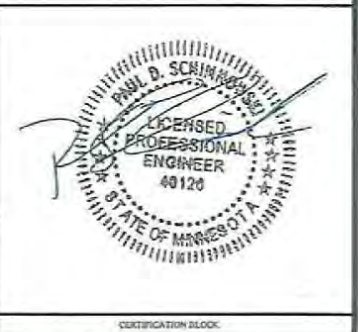
*REFER TO THE UNIFIED SOIL CLASSIFICATION SYSTEM FOR ADDITIONAL INFORMATION.

SOIL VALUES USED IN THE DESIGN OF THIS PROJECT

TYPE OF SOIL	FRICTION ANGLE (DEGREES)	UNIT WEIGHT (lb/ft ³)
REINFORCED BACKFILL	---	---
RETAINED BACKFILL	30	120
FOUNDATION SOIL	30	120

REQUIRED SOIL BEARING CAPACITY: 1,500 PSF

IMPORTANT: WALL CONTRACTOR TO CONTACT WALL ENGINEER PRIOR TO BLOCK PLACEMENT.



PLANS CREATED BY:



PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

HAM LAKE, MINNESOTA

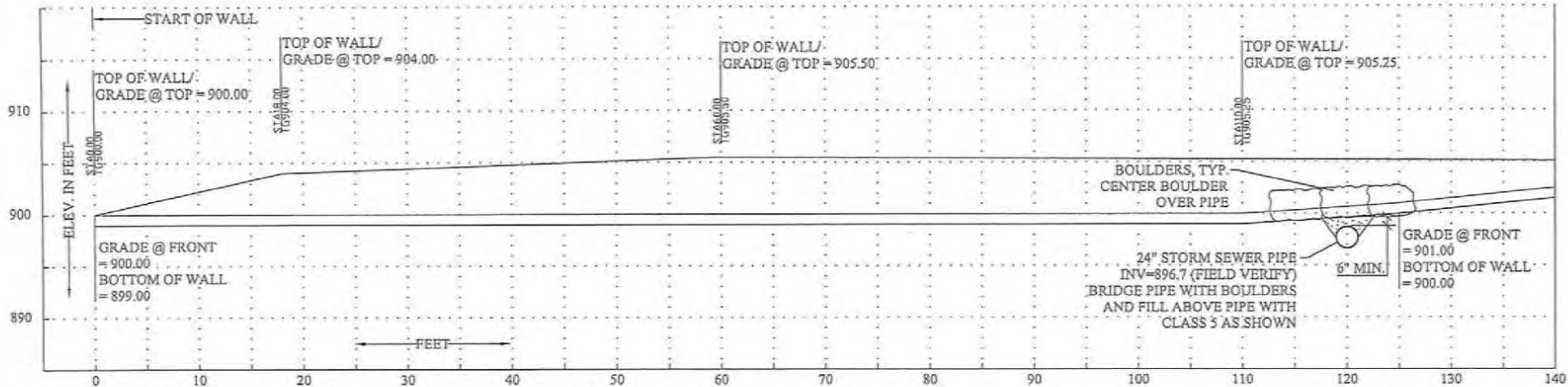
COVER SHEET/ DESIGN INFORMATION

SHEET:	W1 OF 5
SCALE:	AS NOTED
DRAWN BY:	PDS
DATE:	6/30/2023
PROJ. NO.:	23-7225

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

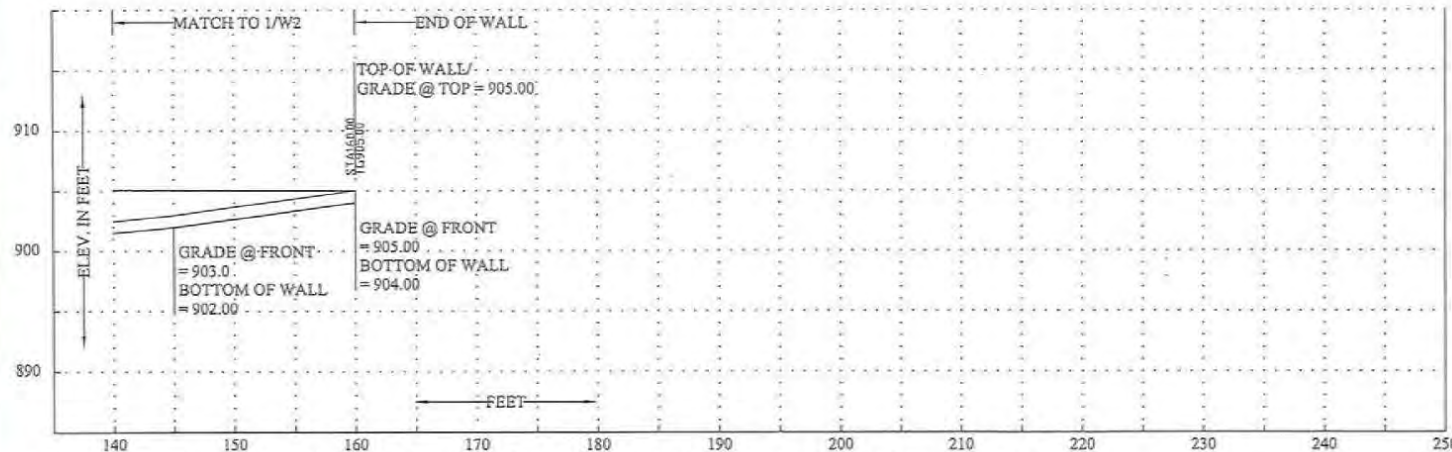
Signature: *Paul D. Schimmowski*
Typed or Printed Name: Paul D. Schimmowski
Date: 6/30/2023 Exp. No. 40120

CERTIFICATION BLOCK



1 WALL ELEVATION 1 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W2 NORTH SIDE OF DRIVEWAY

SCALE: 1" = 10'-0"



2 WALL ELEVATION 1 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W2 CONTINUED

SCALE: 1" = 10'-0"

- WALL 1 NOTES:
1. 250 PSF SURCHARGE LOADING BEHIND WALL.
 2. NO SOIL REINFORCEMENT REQUIRED.
 3. WALL QUANTITY = 813 SQUARE FEET
 4. GEO-GRID QUANTITY = 0 SQUARE YARDS
 5. MAINTAIN MINIMUM GRADE COVER AT FRONT FACE OF WALL AS SHOWN.
 6. SLOPE AT FRONT OF WALL NOT TO EXCEED 3:1
 7. SLOPE AT BACK OF WALL NOT TO EXCEED 10:1
 8. CONTRACTOR TO VERIFY GRADES WITH GRADING, DRAINAGE & EROSION CONTROL PLANS.
 9. GRADES ARE LINEAR BETWEEN DEFINED POINTS UNLESS NOTED OTHERWISE.
 10. SEE SITE LAYOUT DRAWINGS FOR ACTUAL CURVE RADIUS AND LAYOUT INFORMATION.

PLANS CREATED BY:



Czerium-Schimowski
Engineers
161 Dunbar Way
Maltomess, MN 55115
Phone: 651-779-7700
CriteriumMN.com

PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

HAM LAKE, MINNESOTA

WALL
ELEVATION(S)

SHEET: W2 OF 5

SCALE: AS NOTED

DRAWN BY: PDS

DATE: 6/30/2023

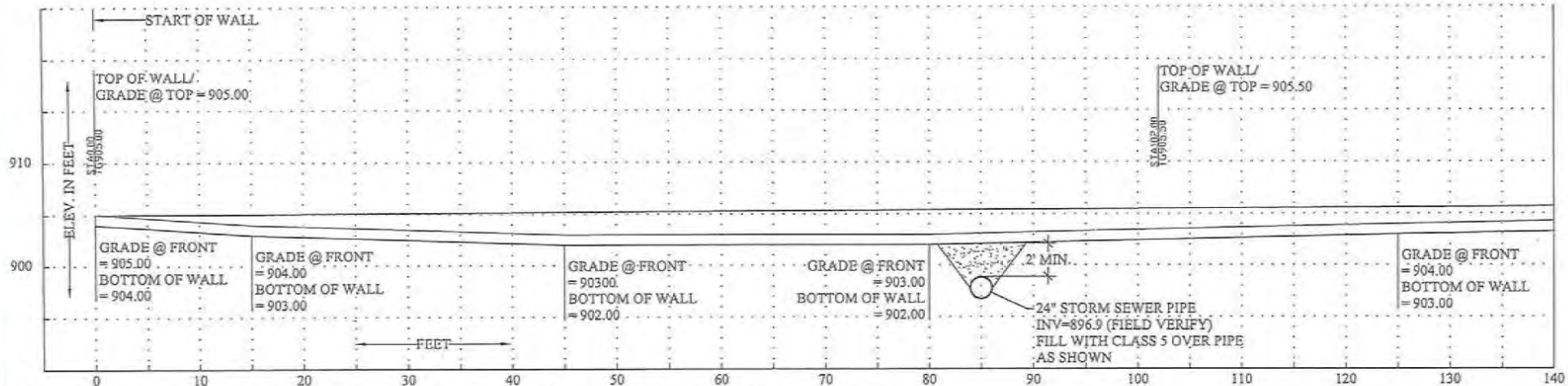
PROJ. NO: 23-7225

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *[Signature]*
Typed or Printed Name: Paul D. Schimowski

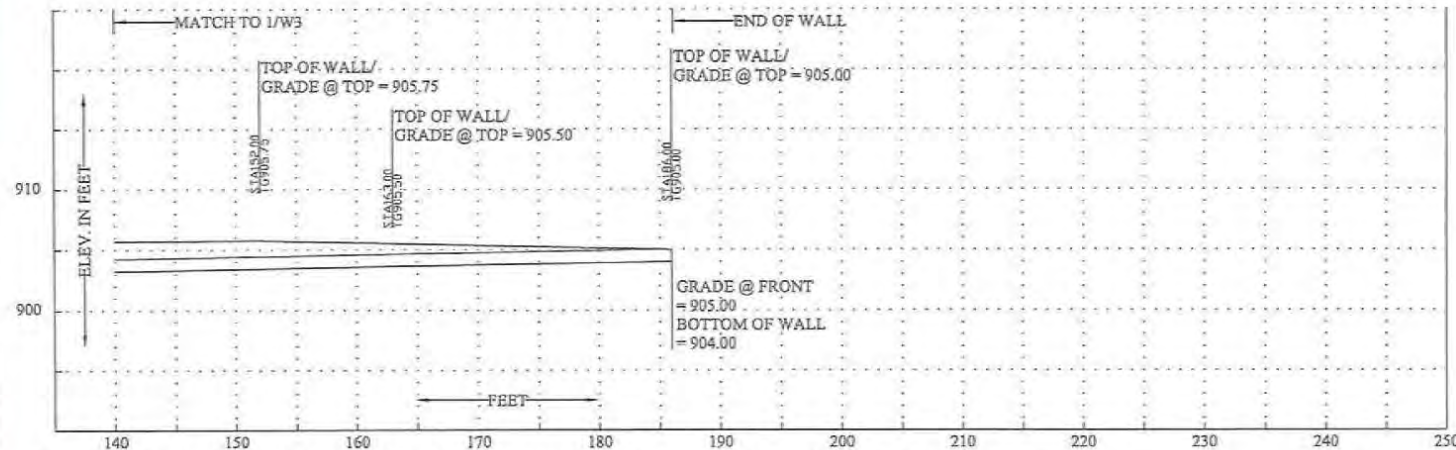
Date: 6/29/2023 Eng. No. 49126

REVISION BLOCK:



1 WALL ELEVATION 2 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
 W3 SOUTH SIDE OF DRIVEWAY

SCALE: 1" = 10'-0"



2 WALL ELEVATION 2 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
 W3 CONTINUED

SCALE: 1" = 10'-0"

- WALL 2 NOTES:
1. 250 PSF SURCHARGE LOADING BEHIND WALL.
 2. NO SOIL REINFORCEMENT REQUIRED.
 3. WALL QUANTITY = 475 SQUARE FEET
 4. GEO-GRID QUANTITY = 0 SQUARE YARDS
 5. MAINTAIN MINIMUM GRADE COVER AT FRONT FACE OF WALL AS SHOWN.
 6. SLOPE AT FRONT OF WALL NOT TO EXCEED 3:1
 7. SLOPE AT BACK OF WALL NOT TO EXCEED 10:1
 8. CONTRACTOR TO VERIFY GRADES WITH GRADING, DRAINAGE & EROSION CONTROL PLANS.
 9. GRADES ARE LINEAR BETWEEN DEFINED POINTS UNLESS NOTED OTHERWISE.
 10. SEE SITE LAYOUT DRAWINGS FOR ACTUAL CURVE RADIUS AND LAYOUT INFORMATION.

PLANS CREATED BY:

Criterium-Schinnowski
 Engineers
 181 Dunbar Way
 Mahomet, MN 55115
 Phone: 651-775-7700
 CriteriumMN.com

PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
 15454 CENTRAL AVE NE
 HAM LAKE, MN
 PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

HAM LAKE, MINNESOTA

WALL ELEVATION(S)

SHEET: W3 OF 5

SCALE: AS NOTED

DRAWN BY: PDS

DATE: 6/30/2023

PROJ. NO.: 23-7225

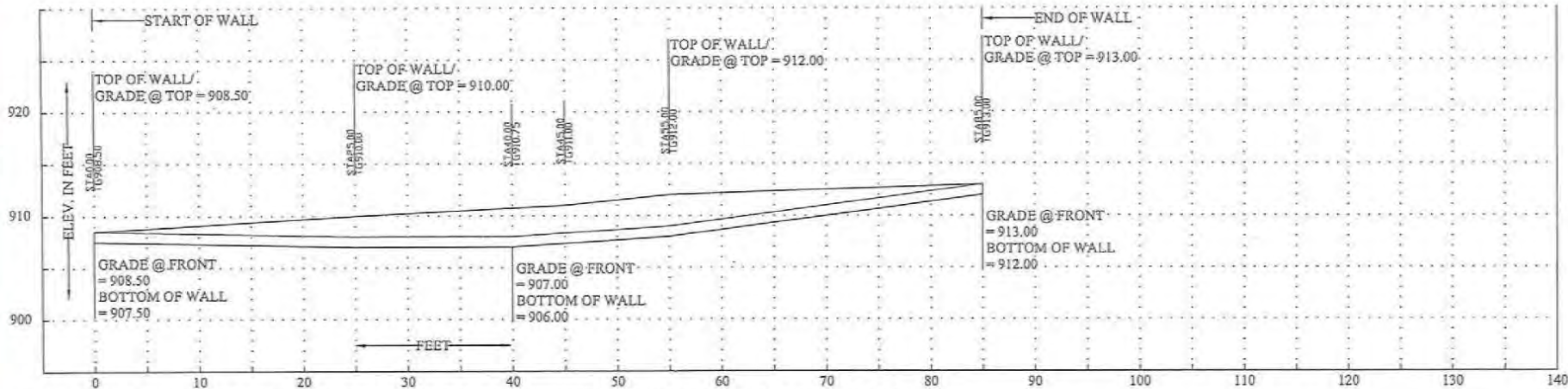
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature:

Typed or Printed Name: Paul D. Schinnowski

Date: 6/30/2023 Reg. No. 48126

REVISION BLOCK



1 WALL ELEVATION 3 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W4 SOUTH SIDE OF YARD

SCALE: 1" = 10'-0"

- WALL 3 NOTES:**
1. NO SURCHARGE LOADING BEHIND WALL.
 2. NO SOIL REINFORCEMENT REQUIRED.
 3. WALL QUANTITY = 233 SQUARE FEET
 4. GEO-GRID QUANTITY = 0 SQUARE YARDS
 5. MAINTAIN MINIMUM GRADE COVER AT FRONT FACE OF WALL AS SHOWN.
 6. SLOPE AT FRONT OF WALL NOT TO EXCEED 3:1
SLOPE AT BACK OF WALL NOT TO EXCEED 5:1
 7. CONTRACTOR TO VERIFY GRADES WITH GRADING, DRAINAGE & EROSION CONTROL PLANS.
 8. GRADES ARE LINEAR BETWEEN DEFINED POINTS UNLESS NOTED OTHERWISE.
 9. SEE SITE LAYOUT DRAWINGS FOR ACTUAL CURVE RADIUS AND LAYOUT INFORMATION.

PLANS CREATED BY:



Criterion-Schimnowski
Engineers
161 Dunbar Way
Mahomed, MN 55115
Phone: 651-779-7700
CriterionMN.com

PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

HAM LAKE, MINNESOTA

WALL
ELEVATION(S)

SHEET: W4 OF 5

SCALE: AS NOTED

DRAWN BY: PDS

DATE: 6/30/2023

PRG. NO.: 23-7225

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *[Signature]*

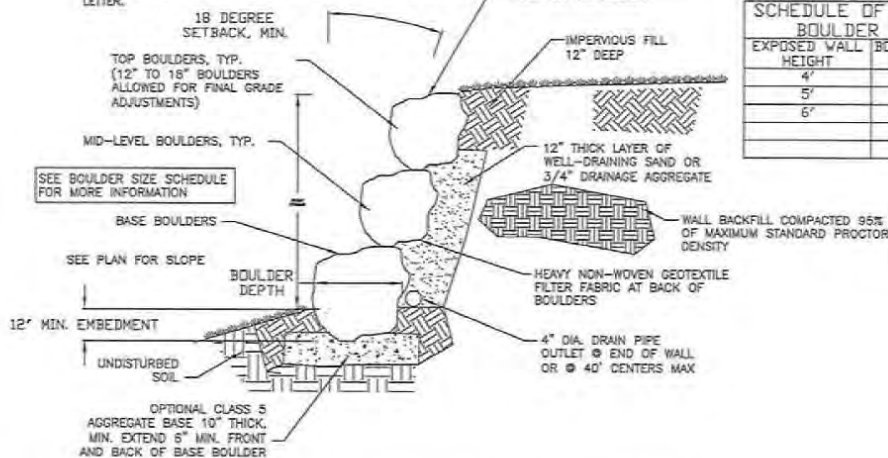
Typed or Printed Name: Paul D. Schimnowski

Date: 6/30/2023 Reg. No. 40126

REVISION BLOCK

SOIL VALUES USED IN THE DESIGN OF THIS PROJECT		
TYPE OF SOIL	FRICTION ANGLE (DEGREES)	UNIT WEIGHT (lb/ft ³)
REINFORCED BACKFILL	---	---
RETAINED BACKFILL	30	120
FOUNDATION SOIL	30	120

CROSS SECTION DESIGN BASED ON INFORMATION LISTED IN COVER LETTER.



SCHEDULE OF REQUIRED BOULDER SIZES	
EXPOSED WALL HEIGHT	BOULDER DEPTH, MIN.
4'	28"
5'	32"
6'	36"

TYPICAL SECTION - BOULDER RETAINING WALL (HEIGHT VARIES)
SCALE: NONE

PLANS CREATED BY:



Criterion-Schimmowksi
Engineers
181 Dunbar Way
Mahomed, MN 55115
Phone: 651-775-7700
CriterionMN.com

PREPARED FOR:
H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME
15454 CENTRAL AVE NE
PROJECT LOCATION
HAM LAKE, MINNESOTA

SECTIONS & DETAILS

SHEET: W5 OF 5
SCALE: AS NOTED
DRAWN BY: PDS
DATE: 6/30/2023
PRJ. NO.: 23-7225

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *[Signature]*
Typed or Printed Name: Paul D. Schimmowksi
Date: 6/30/2023 Reg. No. 49128

REVISION BLOCK

Excerpt from Article 9 of the Ham Lake City Code

...

9-220 Mercantile Districts The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

9-220.1 Standards Common to All Mercantile Districts

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be

directed away from adjacent properties. No light or combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

- h) Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.
- i) Signage** All signage shall conform to the provisions of Article 11-300.
- j) Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

 - i)** The departure is not being requested for purely economic reasons;
 - ii)** The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;
 - iii)** The business is a permitted or conditional use in the zoning district;
 - iv)** The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;
 - v)** The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;
 - vi)** The property contains unusual accessibility problems to or from adjacent roadways;
 - vii)** The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

- k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) **Definitions**

- aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.
- bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.
- cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

- dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.
- ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours."
- ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.
- gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.
- hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.
- ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).
- jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

2) Permitted Outside Storage

- aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.
- bb) Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.
- cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.
- dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.
- ee) No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.
- ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:
 - 1) Pool water must be maintained in a sanitary condition;
 - 2) Below ground pools must be surrounded by code-compliant fencing;
 - 3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
 - 4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;

- 5) Reasonable screening from outside view shall be installed;
 - 6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;
 - 7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
 - 8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;
- gg) Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:
- 1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
 - 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

- hh) **Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.
- 3) **Office/Warehouses** Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity, or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the

Office/Warehouse is to be constructed contains restrictions on building materials or design, those restrictions must be followed. No outside storage unless permitted by Conditional Use Permit, Temporary Conditional Use Permit, or by the given zoning district in which the Office/Warehouse is constructed.

9-220.2 Commercial Development I (CD-1)

The CD-1 zone is intended to apply to certain commercial uses on lands abutting the city's only major thoroughfare, Trunk Highway 65. In that these lands have high visibility to the traveling public, it is considered important to the preservation of land values in general, as well as important to the continuing ability of the city to generate the establishment of quality commercial development and the concomitant tax and employment base, that structures in the CD-1 zones observe specific construction and aesthetic standards, which are listed below. No usage shall be permitted in the CD-1 zone which does not observe the standards found in Article 9-220.2 (a) below.

b) Permitted Uses (Including uses that are ancillary to the main use)

- Clubs and Lodges
- Medical Facilities
 - Assisted Living Facilities
 - Chiropractic
 - Clinics of all medical disciplines
 - Dental
 - Diagnostic Facilities
 - Hospitals
 - Laboratories
 - Nursing Homes
 - Residential Treatment Centers
 - Treatment Rooms and Centers
 - Veterinary Clinics
- Hotels, Motels and Lodging Houses under Article 11-1100
- Light Manufacturing, defined as follows: The fabrication or processing of goods for sale to retailers, wholesalers, other manufacturers or at retail that takes place entirely within an enclosed building and that meets the following criteria:
 - a) The business does not generate any noise, odor or vibration detectable from adjoining properties, other than that which occurs in the normal course of business during shipping and receiving activities;

b) There is no outside storage of any item except Aesthetically Screened Outside Storage as defined in Article 9-220(k)(1)(dd) of this Code.

c) No outside cranes or booms are located on the site;

d) Retail sales of the business products can occur on the premises if the commodities are the commodities manufactured on site.

- Offices and Office Buildings
- Office Warehouses

...

9-220.3 Commercial Development II (CD-2)

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

a) Standards for Site and Building Construction

- i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.
- ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.

b) Permitted Uses (Including uses that are ancillary to the main use)

- All Permitted Uses in the CD-1 District

...

approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

11-1820 Installation Required No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

11-1830 Time for Submission The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

11-1840 Contents and Specifications

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of

at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A.** Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B.** Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- C.** The use of conifers shall be encouraged and preferred.
- D.** Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-

NOTICE OF PERMIT APPLICATION STATUS

Project: H&H Facility

Date: June 13, 2023

Applicant: H&H Contractors
Attn: Eric Hagen
1327 153rd Lane NE
Ham Lake, MN 55304

Permit Application#: P-23-039

Purpose: Construction of a new commercial business shop and office

Location: 15454 Central Avenue NE, Ham Lake

At their meeting on June 12, 2023, the Board of Managers of the Coon Creek Watershed District approved the above referenced project with 6 conditions and 2 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

Conditions:

1. Submittal of a performance escrow in the amount of \$3,300.00
2. Label Wetland 1 and Wetland 2 on the drainage maps.
3. The 12" flared end section outlet invert elevation for Filtration Basin #2 appears to be mislabeled on the grading and utility plan. Update to reflect the correct elevation.
4. Provide complete P8 results, as there appears to be pages missing from the provided data. Also, update P8 model to be consistent with HydroCAD model:
 - a. Update watershed area for DA1 to be consistent with proposed HydroCAD model.
 - b. Update the Particle Class - Filtration Efficiency to align with the MPCA's recommendation for filtration efficiency, found on the MPCA website (25% for Particle Class P10%).
 - c. It is unclear if the proposed underdrain was added to the model. Update the proposed model to include an underdrain pipe outlet.
5. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.
6. Provide a note on the erosion and sediment control plan to stabilize soils and soil stockpiles within 7 days of inactivity.

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. Completion of post construction infiltration tests on Filtration Basin #1 and Filtration Basin #2 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Edison
Watershed Development Coordinator

cc: File P-23-039
Brady Schmitz, Stantec
Danielle Tourtillott, Stantec
Tom Collins, Ham Lake



12300 Elm Creek Blvd • Maple Grove, Minnesota 55369-4718 • 763-445-5000 • Fax 763-445-5050

RIGHT OF WAY VARIANCE AND ENCROACHMENT APPLICATION

Street address of subject property: 15454 Central Ave NE Ham Lake, MN 55304

Legal description of subject property: Northwest quarter of Section 20, Twsp 32, Range 23

Applicant:

Name: Josh Williams - Project Manager (Structural Buildings) Phone #: O-763-296-5800 / C-320-248-3870

Mailing Address: 12926 1st Street Becker, MN 55308

Application is hereby made for a Right of Way Variance Request within Great River Energy's right of way (description of encroachment) Adjust grading on South side of GRE ROW/Easement to accommodate site improvements

I hereby affirm that I am the fee title owner of the above described property or that I have written authorization from the owner to pursue the described action.

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

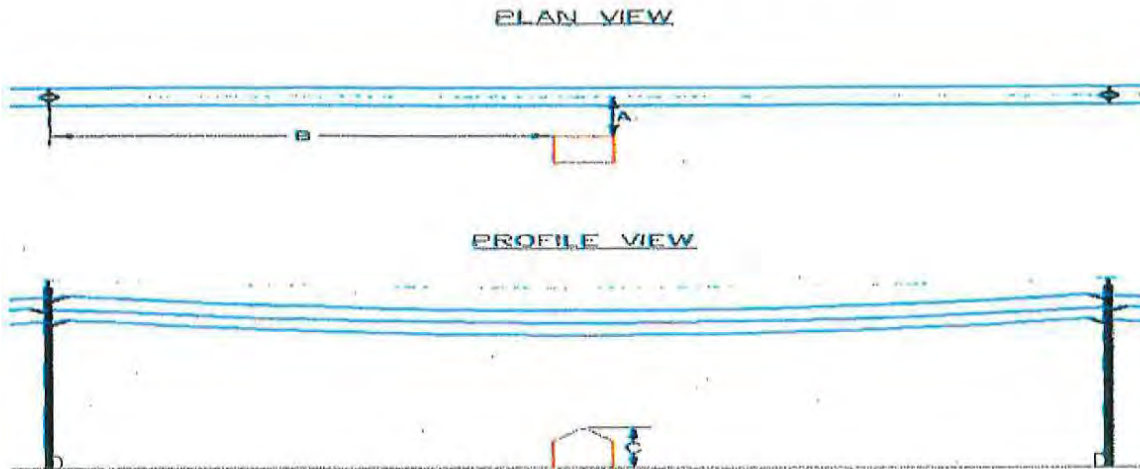
If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

Applicant Signature

18 APRIL 2023

Date

RESIDENTIAL OR COMMERCIAL ENCROACHMENT



Provide the following measurements (refer to above diagram):

- A. Distance from nearest point of proposed encroachment to the transmission centerline: No Structure(s) - Grading & Temp. Silt Fence ONLY
- B. Distance from encroachment to nearest structure as measured along centerline: No Structure(s) - Grading & Temp. Silt Fence ONLY
- C. Height of proposed encroachment: 0'-0"
- D. Number on structure (Example: EO 125): No Structure(s) - Grading & Temp. Silt Fence ONLY

As of August 1, 2015, Great River Energy has implemented the following fees for Right of Way Variance and Encroachment Requests. These fees cover Great River Energy's costs to research, analyze and thoroughly evaluate requests and process the appropriate documents.

Residential Encroachments:

Raising/lowering grade more than 0.5 ft.	\$150*
Building roof overhang only into Right of Way	\$150*
Deck, Pool, Landscaping	\$250*
Small Shed (under 140 Sq. Ft.)	\$250*
Large Garage/Pole Building (over 140 Sq. Ft.)	\$350*

Commercial Encroachments:

Raising/lowering grade more than 0.5 ft.	\$200
Building Roof overhang only into Right of Way	\$250*
Drive/Parking Areas, Landscaping, Grading and/or Ponds	\$250*
Lighting and/or Signs	\$500*
Buildings	\$500*
Full Plans including all above elements	Up to \$7,000 for Engineering Determination*

*Any encroachment resulting in the need for land survey will be charged an hourly rate for such survey. An estimate of survey cost will be prepared and requestor will be required to pay the estimated cost in advance of any survey work being scheduled.

Meeting Date: July 17, 2023

CITY OF HAM LAKE

STAFF REPORT

To: Mayor and Councilmembers

From: Denise Webster, City Administrator

Subject: Purchase Agreement for PIN #17-32-23-24-0009 and Temporary Construction Easement Agreement for PIN #17-32-23-24-0009 & #17-32-23-24-0007 (1360 Constance Boulevard NE)

Introduction/Discussion: City Attorney Berglund has been directed by the City Council to negotiate with property owner's Mary and Keven Bottineau (1360 Constance Boulevard NE) to purchase an easement for a future service road. The Bottineau's obtained an appraisal of the subject property from Bryant & Field Appraisals which showed a diminution in value of the property of \$10,000 as a result of the installation of the service road. The Bottineau's have agreed to the purchase price of \$10,000 for the easement.

Recommendation: I recommend approval of the Purchase Agreement and Temporary Construction Easement Agreement for PIN #17-32-23-24-0009 & #17-32-23-24-0007 (1360 Constance Boulevard NE) in the amount of \$10,000.

PURCHASE AGREEMENT

1. **PARTIES.** This Purchase Agreement (this "Agreement") is made by and between Mary Bottineau and Keven Bottineau, (hereinafter collectively referred to as "Seller"), having an address for notices of 1360 Constance Blvd. NE, Ham Lake, MN 55304, PID #17-32-23-24-0009 (the "Land"), and the City of Ham Lake ("Buyer"), a Minnesota municipal corporation having an address for notices of 15544 Central Avenue NE, Ham Lake, MN 55304, and is effective as of the date last signed by a party to this Agreement ("Effective Date").

2. **OFFER/ACCEPTANCE.** Subject to the terms and conditions of this Agreement, Buyer agrees to purchase, and Seller agrees to sell a roadway, drainage and utility easement (the "Easement") over a portion of the Land with said easement being legally described on the attached Exhibit A (the "Easement Property").

3. **PRICE AND TERMS.** The purchase price for the Easement (the "Purchase Price") shall be Ten Thousand and 00/100 Dollars (\$10,000.00), which Buyer shall pay in cash or other immediately available funds on the "Closing Date" (defined below).

4. **CONTINGENCIES TO BUYER'S OBLIGATION TO PURCHASE THE EASEMENT.** Not later than five (5) days after this Agreement has been executed and delivered by both Seller and Buyer, Seller shall make available to Buyer and its attorneys and agents, all reports, studies, tests, surveys, current tenant leases and other documents relating to the Easement Property that are in Seller's possession or control. Buyer's obligation to purchase the Easement is contingent upon satisfaction, or waiver by Buyer, of each of the following conditions. If Buyer so notifies Seller that any such contingency to Buyer's obligation to purchase the Easement has not been satisfied, this Agreement shall be voidable at the option of Buyer and neither Seller nor Buyer shall have any further rights or obligations under this Agreement except for obligations (the "Surviving Obligations") which expressly survive the termination of this Agreement or the Closing Date.

(a) Seller shall provide a marketable title to the Buyer, lien, judgment and mortgage free, and in the condition described by Sections 12 and 13 below.

(b) Buyer shall be completely satisfied, in Buyer's sole discretion, with the environmental and soil conditions of the Easement Property. Seller hereby authorizes Buyer, at Buyer's sole risk, to enter the Land during the period (the "Inspection Period") commencing on the Effective Date of this Agreement and ending at a date thirty (30) days subsequent to the Effective Date, to conduct investigations and testing of the Easement Property. Buyer shall indemnify and hold Seller harmless from all loss, cost, damage and expense (including court costs and reasonable attorney's fees) that Seller may suffer or incur as a result of Buyer's entry onto and investigation and testing of the Easement Property, and Buyer's obligation under this sentence shall be a Surviving Obligation.

(c) Seller shall allow Buyer a right of entry to fully inspect the Land, and Buyer's obligation to purchase the Easement shall be contingent upon Buyer's satisfaction of the Easement Property, in its sole discretion.

(d) Buyer shall have determined that roads, easements, driveways, utilities, points of access and other infrastructure serving the Land will be adequate for Buyer's purposes, as determined by Buyer in Buyer's sole discretion.

(e) Buyer shall have obtained all watershed, environmental and other governmental approvals (excluding any such approvals and permits as Buyer itself may grant) that Buyer shall deem necessary to use the Easement Property in the manner contemplated by Buyer.

(f) Buyer shall be satisfied with the matters disclosed by any survey of the Easement Property obtained by Buyer at Buyer's expense.

(g) The parties entering into a mutually acceptable temporary easement agreement consistent with Section 8 of this Agreement.

(h) The representations and warranties made by Seller in Section 10 shall be correct as of the Closing Date with the same force and effect as if such representations were made at such time.

(i) Formal approval of this transaction by the Ham Lake City Council at a scheduled Ham Lake City Council meeting.

5. **CLOSING.** Except as otherwise expressly provided in this Agreement, the closing of the sale and purchase contemplated by this Agreement shall occur on such date as mutually agreeably to Seller and Buyer and within 30 days subsequent to the contingencies identified in Section 4 of the agreement either being satisfied or being waived by Buyer in its sole discretion, or such earlier date as shall be mutually acceptable to Seller and Buyer (the "Closing Date"). The Closing shall occur at 10:00 a.m., or such other time as shall be mutually acceptable to Seller and Buyer, at such location as shall be mutually acceptable to Seller and Buyer.

At the Closing, and subject to performance by Buyer, Seller shall execute in recordable form and deliver a Quit Claim Deed (the "Deed"), conveying a roadway, drainage and utility easement over the Easement Property, subject only to the "Permitted Exceptions" (defined below), and shall execute and deliver such other and further documents as reasonably shall be required to consummate the transaction contemplated by this Agreement. The Deed shall either be accompanied by a well disclosure certificate prepared and signed on behalf of Seller and filed at Seller's cost or shall include the following statement: "I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate." At the Closing, and subject to performance by Seller, Buyer shall pay the Purchase Price in cash or other immediately available funds and shall execute and deliver such documents as reasonably shall be required to consummate the transaction contemplated by this Agreement.

At the Closing, Buyer shall pay the state deed tax and any conservation fee on the Deed, and the cost to record any instrument needed to correct title. Buyer shall pay the cost to record the Deed. Buyer shall pay any closing fee charged by the title insurance agency or other company closing the transaction contemplated by this Agreement.

For purposes of this Agreement, "Permitted Exceptions" include:

- A. Building and zoning laws, ordinances, state and federal regulations;
- B. Reservation of any mineral rights by the State of Minnesota;
- C. Utility and drainage easements which do not interfere with Buyer's intended use of the Easement Property;
- D. Public roads upon and County ditches across the Land; and
- E. Any other matter disclosed by the Title Commitment and not timely and effectively objected to by Buyer.

6. **PAYMENT OF CLOSING COSTS.** Closing costs shall be allocated in accordance with the normal and customary practice for similar real estate transactions in the County of Anoka.

7. **CONDITION OF EASEMENT PROPERTY.** Seller shall remove from the Easement Property before the completion of the Closing all debris and personal property not included in the purchase of the Easement.

8. **TEMPORARY EASEMENT.** In addition to all customary legal and necessary easements, as well as the Easement being purchased by Buyer, Seller shall grant to Buyer, at no cost, a temporary easement over the Land to allow Buyer to enter upon the Land for Buyer's installation of the roadway, drainage and utilities on the Easement Property. The parties agree to enter into a separate Temporary Easement Agreement consistent with this Section 8 prior to the Closing Date.

9. **BROKERAGE.** Buyer and Seller represent that neither party is represented by a real estate agent or broker and no brokerage commissions are due any third parties as a result of this transaction.

10. **REPRESENTATIONS AND WARRANTIES OF SELLER.** Seller represents and warrants to and covenants with Buyer that:

- (a) Seller is the owner of fee simple title to the Land; Seller has the power and authority to enter into and perform the terms and conditions of this Agreement, and such performance will not conflict with or result in a breach of any of the terms, conditions or provisions of any agreement or instrument to which Seller is a party or by which it is bound,

or constitute a default under any of the foregoing; and this Agreement is valid, binding and enforceable against Seller in accordance with its terms.

(b) Seller has not received any notice of, and Seller is not aware of, any violation of any law, municipal ordinance or other governmental requirement affecting the Property, including without limitation any notice of any fire, health, safety, building, pollution, environmental or zoning violation, but specifically excluding any such ordinance of Buyer, as to which Buyer has knowledge at least equal to that of Seller.

(c) Aside from the negotiations with the City for the purchase of the Easement, Seller has not received any written notice of any condemnation or eminent domain proceedings, or negotiations for purchase in lieu of condemnation, relating to the Land, or any portion thereof; and Seller has no actual knowledge that any condemnation or eminent domain proceedings have been commenced or threatened in connection with the Land or any portion thereof.

(d) (1) To Seller's knowledge, the Land (A) is not subject to any private or governmental lien or judicial or administrative notice, order or action relating to Hazardous Substances or environmental problems, impairments or liabilities with respect to the Land, and (B) to Seller's knowledge, neither Seller nor the Land is in, or with any applicable notice and/or lapse of time, and/or failure to take certain curative or remedial actions, will be in, violation of any Environmental Laws (as herein defined).

(2) Seller shall not, prior to Closing, cause or acquiesce in any Hazardous Substances to exist or be stored, generated, used, located, discharged, released, possessed, managed, processed or otherwise handled on the Land in violation of any Environmental Laws, and shall comply with all Environmental Laws affecting the Property.

(3) Seller shall promptly notify Buyer should Seller become aware of (A) any environmental problem or liability with respect to the Land, (B) any lien, order, action or notice of the nature described in subparagraph (1) above, or (C) any litigation or threat of litigation relating to any alleged unauthorized release, discharge, generation, use, storage or processing of any Hazardous Substance or the existence of any Hazardous Substance or other environmental contamination, liability or problem with respect to or arising out of or in connection with the Land.

As used herein, "Hazardous Substances" means any matter giving rise to liability under the Resource Conservation and Recovery Act, 42 U.S.C. Section 6901 et seq., the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. Sections 9601 et seq. (including the so-called "Superfund" amendments thereto), or other applicable federal, state or local statute, law, ordinance, rule or regulation governing or pertaining to any hazardous substances, hazardous wastes, chemicals or other materials, including without limitation asbestos, polychlorinated biphenyls, radon, petroleum and any derivative thereof, or any common law theory based on nuisance or strict liability (all of the foregoing statutes, laws, ordinances, rules, regulations and common law theories are sometimes collectively referred to as "Environmental Laws").

(e) No litigation or proceedings are pending or, to Seller's knowledge, contemplated, threatened or anticipated, relating to the Land or any portion thereof.

(f) Seller has no knowledge of any unrecorded agreements, undertakings or restrictions which affect the Land. There are no other tenants, persons or entities occupying any portion of the Land, and to Seller's knowledge no claim exists against any portion of the Land by reason of adverse possession or prescription.

(g) To Seller's knowledge (i) there is no obligation with respect to the Land for any assessment, annexation fee, payment, donation or the like (other than general real estate taxes, which are required to be paid by the Buyer); (ii) there are no obligations in connection with the Land of any so-called "recapture agreement" involving refund for sewer extension, oversizing utility, lighting or like expense or charge for work or services done upon or relating to the Land or otherwise; and (iii) there is no unexecuted paving agreement or undertaking with any government agency respecting construction of any acceleration or de-acceleration lane, access, or street lighting.

If, prior to the Closing Date, Seller obtains knowledge of a fact or circumstance the existence of which would constitute a breach by Seller of its representations and warranties hereunder or would render any such representations and warranties materially untrue or incorrect, Seller shall promptly notify Buyer in writing of the same. Under said circumstances, and in addition to any other right or remedy that may be available to Buyer, Buyer, at its option, may terminate this Agreement by notice to Seller prior to completion of the Closing. If Buyer timely gives such notice, neither Seller nor Buyer shall have any further rights or obligations under this Agreement except for the Surviving Obligations.

All representations, warranties, covenants, indemnities, and undertakings made herein shall be deemed remade as of the Closing Date, shall be true and correct as of the Closing Date, shall be deemed to be material and to have been relied upon by Buyer notwithstanding any investigation or other act of Buyer heretofore or hereafter made, and shall survive for a period of twelve (12) months after the Closing Date.

11. **POSSESSION.** Seller shall deliver access to the Easement Property for installation of a roadway, drainage and utilities not later than the completion of the Closing.

12. **EXAMINATION OF TITLE.** Title examination will be conducted as follows:

A. Seller's Title Evidence. Seller shall furnish to Buyer a commitment (the "Title Commitment") for an ALTA Form B Owner's Policy of Title Insurance, certified to date to include proper searches covering bankruptcies, State and Federal judgments and liens, issued by a title insurance company acceptable to Buyer in its reasonable judgment, committing the title insurer to insure Buyer's title to the Land deleting standard exceptions and including affirmative insurance regarding zoning, contiguity, appurtenant easements and such other matters as may be identified by Buyer, with policy limits in the amount of the Purchase Price.

B. Buyer's Objections. Buyer shall be allowed thirty (30) business days after receipt of the Title Commitment for examination of title and making any objections, which shall be made in writing or deemed waived.

13. **TITLE CORRECTIONS AND REMEDIES.** Within five (5) business days after its receipt of Buyer's written title objections, Seller shall notify Buyer of Seller's intention as to making the title marketable. Liens or encumbrances for liquidated amounts which can be released by payment or escrow from proceeds of Closing shall not delay the Closing and need not be timely objected to by Buyer. Cure of the defects by Seller shall be reasonable, diligent, and prompt. Pending correction of title, all payments required herein and the Closing shall be postponed.

A. If notice is given and Seller makes title marketable within thirty (30) days after Seller's receipt of Buyer's title objections, then upon presentation to Buyer of documentation establishing that title has been made marketable, and if not objected to in the same time and manner as the original title objections, the Closing shall take place within ten (10) business days or on the scheduled Closing Date, whichever is later.

B. If title is marketable, or is made marketable as provided herein, and Buyer defaults in any of the agreements herein, Seller may, as its sole remedy, cancel this Agreement.

C. If title is marketable, or is made marketable as provided herein, and Seller defaults in any of the agreements herein, Buyer may cancel this Agreement, or may sue Seller for specific performance or for damages for breach of this Agreement and its costs and reasonable attorneys' fees provided such action is commenced not later than six (6) months after such cause of action arose.

TIME IS OF THE ESSENCE FOR ALL PROVISIONS OF THIS CONTRACT.

14. **NOTICES.** All communications, demands, notices or objections permitted or required to be given or served under this Agreement shall be in writing and, except as otherwise expressly provided in this Agreement, shall be deemed to have been duly given or served on the earliest to occur of: when delivered in person to the other party or its duly authorized agent; or one (1) business day after delivery to a same-day or overnight prepaid courier service; or two (2) business days after deposit with the United States Postal Service, postage prepaid, certified or registered mail, return receipt requested, in each case addressed to the other party at the address set forth at the beginning of this Agreement. Either party may change its address by giving at least ten (10) days' notice of such change to the other party.

15. **MINNESOTA LAW.** This contract shall be governed by the laws of the State of Minnesota.

16. **SELLER'S DISCLOSURES.** Seller certifies that there is an existing individual sewage treatment system on and serving the Land that does not impact the Easement Property.

Buyer hereby acknowledges that the sale and purchase contemplated by this Agreement is exempt from the disclosure requirements of Minnesota Statutes Sections 513.52 to 513.60.

Mary Bottineau and Kevin Bottineau agree to sell the Property for the Purchase Price and on the terms and conditions set forth above

SELLER:

Mary Bottineau

Date: _____

Keven Bottineau

Date: _____

The City of Ham Lake agrees to buy the Property for the Purchase Price and on the terms and conditions set forth above

BUYER:

THE CITY OF HAM LAKE

Date: _____

By: _____

Brian Kirkham

Its: Mayor

EXHIBIT A

The land referred to is situated in the County of Anoka, State of Minnesota, and is described as follows:

A 60 foot wide perpetual easement for public roadway, drainage and utility purposes over and across the following described parcel:

That part of the Southeast Quarter of the Northwest Quarter of Section 17, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point of intersection of the west right of way line of State Trunk Highway No. 65 and the south line of said Southeast Quarter of the Northwest Quarter; thence north along said west right of way line 320 feet; thence west at right angles 208.75 feet to the point of beginning of the parcel to be described; thence north at right angles 510.03 feet to a point hereinafter referred to as "POINT A"; thence continuing north to the south right of way line of Constance Boulevard (aka County Road No. 60); thence west along said south right of way line to a point 408.9 feet west of said west right of way line; thence southerly parallel with said west right of way line 463.35 feet to a point hereinafter referred to as "Point B"; thence continuing south, parallel with said west right of way, to the intersection with a line drawn at right angles from said west right of way line and through the point of beginning; thence east to the point of beginning.

The center line of said easement being described as follows:

Beginning at the aforementioned "Point A" thence westerly to the aforementioned "Point B" and said centerline there terminating.

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT

THIS TEMPORARY CONSTRUCTION EASEMENT AGREEMENT (“Agreement”) is made by and between the City of Ham Lake, a Minnesota municipal corporation (“City”), and Mary Bottineau and Keven Bottineau (“Owner”), and is effective as of the date last signed by a party to this Agreement (“Effective Date”).

PRELIMINARY STATEMENTS

- A. Owner owns property located at 1360 Constance Boulevard, Ham Lake, MN 55304 PIDs #17-32-23-24-0007 and #17-32-23-24-0009 (the “Land”).
- B. By purchase agreement dated _____ between the City and the Owner (the “Purchase Agreement”) the City, for the benefit of the public, has purchased from Owner a roadway, drainage and utility easement (the “Easement”) over a portion of the Land described on the attached Exhibit A (the “Easement Property”).
- C. To install the roadway, drainage and utilities on the Easement Property, it is necessary for the City to obtain a temporary construction easement from the Owner over the Land.

AGREEMENT

In consideration of the sum of One and 00/100 Dollars (\$1.00), and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and the Owner hereby agree as follows:

1. **Grant of Temporary Construction Easement.** The Owner hereby grants to the City, its contractors and agents, a temporary construction easement (the “Temporary Construction Easement”) to enter upon the Land for the installation of a roadway, drainage and utilities in accordance with the plans and specifications provided by the City, the receipt and sufficiency of which is hereby acknowledged, and as described in the Scope of Work (defined in Section 3 below).

2. **Term of Easement.** The rights of the City created under this Agreement shall be effective as of the Effective Date of this Agreement and shall automatically expire without further act or release of the parties hereto on the date upon which the full use and operation of the roadway

by the public is accomplished, but in any event no later than December 31, 2028 (the "Termination Date").

3. **Scope of Work Within Temporary Construction Easement Area.** The road, drainage and utility work to be completed within the Land ("Scope of Work").

4. **Indemnification.** To the extent permitted by applicable law, the City shall indemnify and hold Owner, its successors and assigns (collectively the "Indemnified Owner") harmless from and against all third-party liabilities, damages, claims, costs and other similar expenses which may be incurred by the Indemnified Owner by reason of bodily injury or death of any person or damage to or destruction or loss of any property, including damage to the Land arising on or from the use or non-use of the Temporary Construction Easement.

5. **Insurance.** Prior to the undertaking of the Scope of Work as contemplated in this Agreement, the City shall cause to be provided to the Owner a certificate of liability insurance in form and content reasonably acceptable to the Owner listing the Owner as certificate holder and/or additional insured.

6. **General Provisions.**

(a) Notices. Any notices to be given to the parties shall be deemed effective upon actual receipt if hand delivered or upon the third day after postmark by U.S. or certified mail, return receipt requested, to the address set forth below:

If to City: City of Ham Lake
2015 First Avenue North
Anoka, Minnesota 55303

If to Owner: Mary Bottineau and Keven Bottineau
1360 Constance Blvd. NE
Ham Lake, MN 55304

Each party shall have the right from time to time and at any time upon at least fifteen (15) days' prior written notice thereof in accordance with the provisions hereof to change its respective address and to specify any other address; provided, however, notwithstanding anything herein contained to the contrary, in order for the notice of address change to be effective, it must actually be received.

(b) Liens and Encumbrances. City shall not cause or permit anything to be done that will cause the Land to become encumbered by any mechanic's lien or similar lien, charge or claim. If any mechanic's lien or similar charge or claim is filed against the Land due to another party's alleged request for labor or materials, such party shall discharge the same of record by a release or bond within thirty (30) days after the filing of any notice of such lien, claim or other charge.

(c) Enforcement. The terms and conditions set forth herein shall be enforceable by the City and by the Owner and Owner's successors and assigns. No other person or entity shall have any rights to enforce any of the restrictions

herein set forth. This Agreement may be enforced by legal or equitable action including specific performance.

(d) Running of Benefits and Burdens. All provisions of this Agreement shall run with the land and shall inure to the benefit of and be binding upon the City and the Owner and its successors and assigns.

(e) Amendments. No amendment, modification or waiver of any condition, provision or term of this Agreement shall be valid or of any effect unless made in writing and signed by the parties to be bound thereby or their duly authorized representative(s).

(f) Severability. If any provision or application of this Agreement is held unlawful or unenforceable in any respect, such illegality or unenforceability shall not affect other provisions or applications which can be given effect, and this Agreement shall be construed as if the unlawful or unenforceable provisions or application had never been contained herein or prescribed hereby.

(g) Governing Law. All of the terms and provisions of this Agreement shall be governed by and controlled solely by the laws of the State of Minnesota.

(h) No Recording. This Agreement, while in recordable format, shall not be recorded, unless required by the City.

IN WITNESS WHEREOF, this Temporary Construction Easement Agreement has been executed by the City and Owner as set forth below.

(signature pages follow)

CITY:

CITY OF HAM LAKE

By: _____
Name: Brian Kirkham
Its: Mayor

STATE OF MINNESOTA)
) ss.
COUNTY OF ANOKA)

The foregoing instrument was acknowledged before me this _____ day of _____, 2023,
by Brian Kirkham Mayor of the City of Ham Lake, a Minnesota municipal corporation, on behalf
of the municipal corporation.

Notary Public

This instrument was drafted by:
Berglund, Baumgartner & Glaser, LLC
2140 4th Ave N.
Anoka, MN 55303
(763)427-5950

EXHIBIT A

The land referred to is situated in the County of Anoka, State of Minnesota, and is described as follows:

A 60 foot wide perpetual easement for public roadway, drainage and utility purposes over and across the following described parcel:

That part of the Southeast Quarter of the Northwest Quarter of Section 17, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at a point of intersection of the west right of way line of State Trunk Highway No. 65 and the south line of said Southeast Quarter of the Northwest Quarter; thence north along said west right of way line 320 feet; thence west at right angles 208.75 feet to the point of beginning of the parcel to be described; thence north at right angles 510.03 feet to a point hereinafter referred to as "POINT A"; thence continuing north to the south right of way line of Constance Boulevard (aka County Road No. 60); thence west along said south right of way line to a point 408.9 feet west of said west right of way line; thence southerly parallel with said west right of way line 463.35 feet to a point hereinafter referred to as "Point B"; thence continuing south, parallel with said west right of way, to the intersection with a line drawn at right angles from said west right of way line and through the point of beginning; thence east to the point of beginning.

The center line of said easement being described as follows:

Beginning at the aforementioned "Point A" thence westerly to the aforementioned "Point B" and said centerline there terminating.

6-122 Trailer On-Street Parking Restrictions (V3)

No commercial vehicles, trailer or equipment shall be parked within the right-of-way of any municipal street except when loading, unloading, or rendering a service. When possible, when a commercial vehicle, trailer or equipment is parked on a public street, orange traffic cones shall be placed adjacent to the commercial vehicle, trailer or equipment for safety and notice purposes. No trailer that is not attached to a functioning vehicle, including, but not limited to, utility trailers, boat trailers, other recreational trailers, such as campers and camper trailers and recreational vehicles are permitted to be parked within the right-of-way of any municipal street between the hours of two o'clock (2:00) A.M. and six o'clock (6:00) A.M.

6-123 Unlawful to park unlicensed or mechanically inoperable vehicles and trailers

A. It shall be unlawful for any person to stand or park any vehicle or trailer that is unlicensed or not currently licensed with the state on any city street, city parking lot, alley, city right-of-way, and all public property.

B. It shall be unlawful for any person to stand or park any vehicle or trailer that is extensively damaged to the extent that it has a broken window or windshield, or missing wheels, tires, motor or transmission or is not equipped with any equipment required for operation on public highways, on any highway, city street, city parking lot, alley, city right-of-way, and all public property.

June Update on Blaine - Ham Lake Well interferences

What happens next?

1. The DNR will work through the well interference settlement process with the City of Blaine, two area golf courses, and residents associated with the 47 valid complaints.
2. The DNR will continue to investigate outstanding and future complaints.
3. The DNR will review the City of Blaine's permit to make sure domestic water supplies continue to be protected.

Contacts:

Well interference resolution process: Claudia Hochstein, Well Interference Coordinator- claudia.hochstein@state.mn.us, 651-259-5034

Blaine-Ham Lake area well interference

webpage: https://www.dnr.state.mn.us/waters/watermgmt_section/blaine-ham-lake-well-interference.html

Technical report: Amanda Yourd, Groundwater Specialist- amanda.yourd@state.mn.us; 612-390-1097

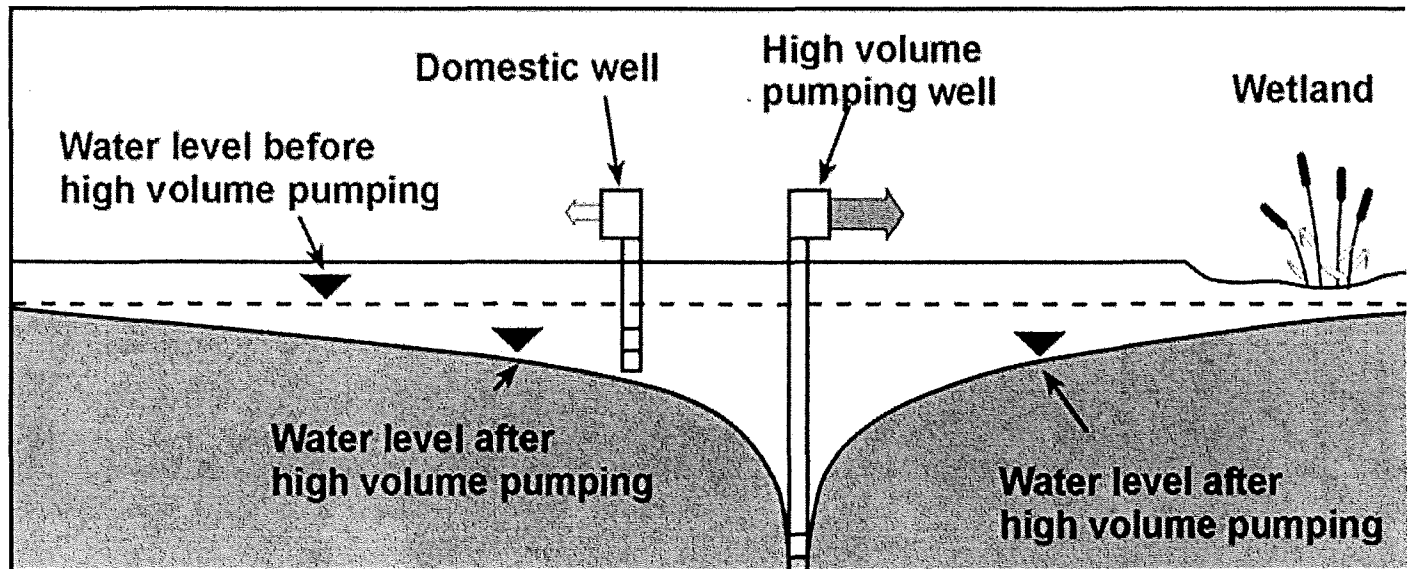
Water appropriation permits: Dan Miller, Water Use

Consultant- dan.w.miller@state.mn.us; 651-259-5731

In August 2022, the Minnesota Department of Natural Resources (DNR) began receiving calls from residents of the north-metro Twin Cities suburbs of Blaine and Ham Lake whose wells were out of water. These residents rely on their own domestic water wells for household water. The DNR suspected that well interference had occurred and started investigating.

What is well interference?

Pumping from a high volume well lowers the water level in the surrounding groundwater aquifer. Well interference occurs when the water level drops below a domestic well pump, so the pump cannot reach or pump water (see illustration below). In Minnesota, the DNR investigates possible well interferences at no cost to the domestic well owner. The DNR only investigates well interference complaints after a well driller has inspected the well and the homeowner has submitted a well interference complaint form.



Well interference happens when high volume water use lowers the groundwater level below the pump of nearby domestic wells.

How many domestic wells had problems?

As of May 1, 2023, the DNR has received calls, emails or letters from more than 150 residents experiencing water supply problems in the Blaine-Ham Lake area. The DNR provided all of those residents with information about the DNR's process for investigating well interference complaints. The DNR has received 74 well interference complaint forms. Because there are so many well interference complaints (and we continue to receive complaints), the DNR is investigating the complaints in batches. As of May 1, 2023, the DNR has completed its investigation of 50 complaints. The locations of these 50 complaints are shown on the map on the next page. The map shows:

- Fewer water supply problems were reported in the City of Blaine, because the city has a municipal water supply system that provides water to residents, so there are fewer domestic wells.
- More well problems occurred in the adjacent City of Ham Lake, because they do not have a municipal water supply system and all residents get their water from private domestic wells.

What caused domestic wells to run out of water?

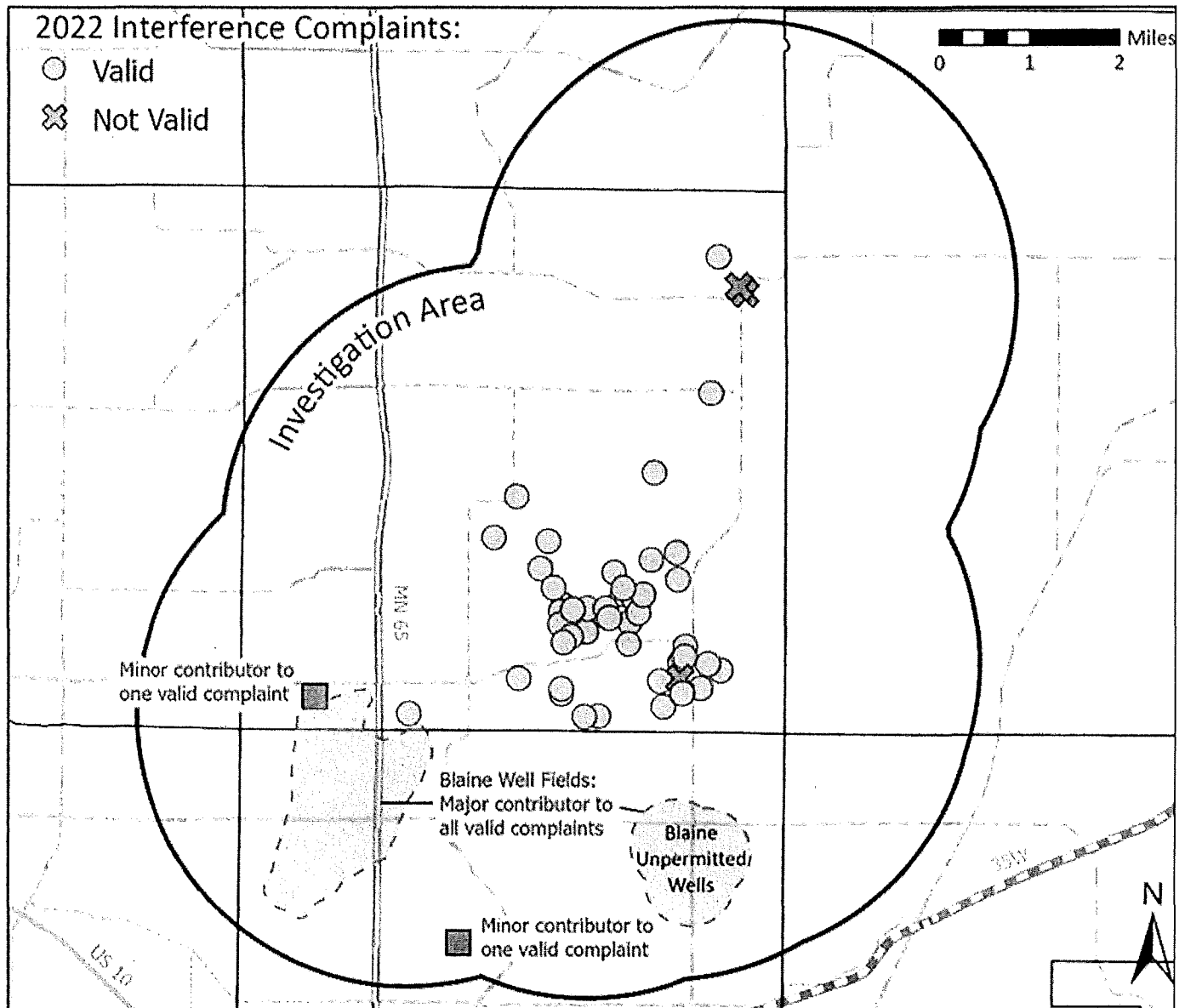
The DNR reviewed groundwater use, groundwater levels, geology and well construction to find out why so many wells went out of water. We found that:

- Groundwater use in the area was the highest on record in 2022. The city of Blaine used about 1.7 billion gallons of groundwater in 2022, which is about five times more than all other high volume users in the area combined.
- Groundwater levels in 2022 were the lowest on record in many observation wells because of very high groundwater appropriation and use.
- Groundwater aquifers in this area are strongly connected to each other. That means

that pumping large volumes of water from one part of the aquifer can cause water levels to drop several miles away.

The DNR investigation showed that the large volume of water pumped by the City of Blaine in the summer of 2022 was the main reason domestic wells went dry. Of the 50 complaints evaluated so far, the DNR has determined that 47 ran out of water due to high volume pumping. The DNR determined that these 47 complaints are valid. The other three complaints were determined not valid because water supply problems were caused by reasons not related to high volume pumping (e.g., a broken pump).

This map shows the investigation area for the report, as well as the locations of the complaints and contributing high volume wells.



This map shows the investigation area for the report, as well as the locations of the complaints and contributing high volume wells.

February Update on Blaine – Ham Lake Well Interferences

Recent articles in the Star Tribune and Ham Laker newsletter reported on private well problems that may have been caused by the City of Blaine pumping four new wells. Three of the new wells stopped pumping in mid-August and have not pumped water since. The City of Blaine has reimbursed some private well owners for costs associated with restoring their water supplies. They have referred other complaints to the DNR because the City of Blaine believes there may be additional factors causing the private well water supply issues.

Well Interference Complaints Update - As of Jan. 30, 2023

- 153 reported well interference complaints have been received by the City of Blaine and the DNR. Six new complaints were received in January.
- 24 owners of private wells in Blaine or Ham Lake have been reimbursed by the City of Blaine.
- 119 complaints have been referred to the DNR.
- 69 DNR Well Interference Complaint Forms have been received.

This means that at least 50 residents may be eligible for reimbursement of costs incurred to repair their well, but DNR has not received their formal written complaint yet. See the last paragraph below on how to complete the Water Well Information and Complaint form.

Progress on the Well Interference Investigation

We anticipate that DNR's investigation will be completed this spring. It takes time to investigate so many well problems. Well interference reviews take time because the DNR needs to ensure that well interference complaints are addressed consistently across the state, and that conclusions are supported by rigorous science and in accord with state well interference regulations. DNR staff have streamlined the process as much as possible.

What happens when the investigation and technical report are complete?

1. The DNR anticipates having the investigation finalized this spring.
2. All parties will receive copies of the final Blaine-Ham Lake Well Interference Technical Report when it is complete.
3. The Report will be accompanied with an individualized letter stating that your claim was found Valid or Not Valid.
 1. A Valid complaint means that the well was out of water because of neighboring high-capacity pumping and water use.
 2. A Not Valid complaint means that the well was out of water for some other reason **not** related to neighboring high-capacity pumping and water use.
4. All water appropriation permit holders will receive the Report and a letter identifying which wells they impacted and the submitted invoice dollar amount to repair those wells.
5. From the date on the notification letter, the water appropriation permit holders have 30 days to choose one of three options: 1) Negotiate a reasonable agreement, 2) modify or restrict their permit or 3) request a public hearing. Typically, if the well interference investigation is found valid, a settlement is negotiated with the high-capacity water user(s) to reimburse well owners for some or all of their costs to restore their domestic water supply.

6. Because of the large number of complaints in this area, notifications may be handled in batches.
7. More information on the resolution process is available on the [DNR well interference webpage](#)

Information for Ham Lake well owners with well problems

If you know of other Blaine or Ham Lake well owners who had water supply problems in 2021 or 2022, they may be eligible for reimbursement of costs incurred to restore their water supply. They should complete the Water Well Information and Complaint form found on the [DNR well interference webpage](#). Or contact Anneka Munsell at anneka.munsell@state.mn.us or 651-259-5671.

January Update on Blaine – Ham Lake Well Interferences

Recent articles in the Ham Laker newsletter reported on some private well problems that may have been caused by the City of Blaine pumping four new wells. Three of the new wells stopped pumping in mid-August and have not pumped water since. The City of Blaine has reimbursed some private well owners for costs associated with restoring their water supplies. They have referred other complaints to the DNR because the City of Blaine believes there may be additional factors causing the private well water supply issues.

Well Interference Complaints Update - As of Jan. 4, 2023

- 146 reported well interference complaints have been received by the City of Blaine and the DNR.
- 24 owners of private wells in Blaine or Ham Lake have been reimbursed by the City of Blaine.
- 112 complaints have been referred to the DNR.
- 65 DNR Well Interference Complaint Forms have been received.

Progress on the Well Interference Investigation

If you have received an email or phone call from Carmelita Nelson confirming receipt of your complaint form and invoices, there is nothing further that you need to do. Your complaint is being investigated. We anticipate that DNR's investigation will be completed this spring. It takes time to investigate so many well problems, so please be patient.

Why does it take so long to investigate a well interference?

Well interference reviews take time because the DNR needs to ensure that well interference complaints are addressed consistently across the state, and that conclusions are supported by rigorous science and in accord with state well interference regulations. DNR staff have streamlined the process as much as possible, but this is a complex situation that will take time to resolve.

What happens when the investigation and technical report are complete?

1. The DNR anticipates having the investigation finalized this spring.
2. All parties will receive copies of the final Blaine-Ham Lake Well Interference Technical Report when it is complete.

3. The Report will be accompanied with an individualized letter stating that your claim was found Valid or Not Valid.
1. A Valid complaint means that the well was out of water because of neighboring high-capacity pumping and water use.
2. A Not Valid complaint means that the well was out of water for some other reason **not** related to neighboring high-capacity pumping and water use.
4. All water appropriation permit holders will receive the Report and a letter identifying which wells they impacted and the submitted invoice dollar amount to repair those wells.
5. From the date on the notification letter, the water appropriation permit holders have 30 days to choose one of three options: 1) Negotiate a reasonable agreement, 2) modify or restrict their permit or 3) request a public hearing. Typically, if the well interference investigation is found valid, a settlement is negotiated with the high-capacity water user(s) to reimburse well owners for some or all of their costs to restore their domestic water supply.
6. Because of the large number of complaints in this area, notifications may be handled in batches.
7. More information on the resolution process is available on the [DNR well interference webpage](#).

Ham Lake Water Levels

There have been a few inquiries about Ham Lake Water Levels. The following information was provided by the Coon Creek Watershed District:

From the [DNR Lake Finder](#) page, all major lakes in our watershed (Crooked, Ham, Netta, Coon, Laddie, and Sunrise) have dropped 1.5 to 2.5 feet since 2020 (Sunrise the least, Laddie the most). Ham and Netta have acted almost identically, both dropping about 2 feet in that time period. Additionally, the Bunker reference wetland just west of our Ham Lake office dropped 2 feet in 2022 alone and Round Lake (just outside of our watershed) has dropped 3 feet since 2020. These levels show that Ham Lake is not alone in experiencing low water levels when compared to other local lakes.

Information for Ham Lake well owners with well problems

If you know of other Blaine or Ham Lake well owners who had water supply problems in 2021 or 2022, they may be eligible for reimbursement of costs incurred to restore their water supply. They should complete the Water Well Information and Complaint form found on the [DNR well interference webpage](#). Or contact the state well interference coordinator at 651-259-5034.

[Link to Star Tribune Article on 12/31/22](#)

December Update on the Blaine – Ham Lake Well Interference Situation

Well Complaints Update - As of 12/2/22

- 138 reported well interference complaints have been received by the City of Blaine and DNR.
- 24 residents of Blaine or Ham Lake have been reimbursed by the City of Blaine.

- 105 complaints have been referred to the DNR.
- 64 DNR Well Interference Complaint Forms have been received.

Progress on the Well Interference Investigation

The DNR Groundwater Technical staff are working through their final analysis of all 64 complaints, this is a time consuming process to get it right. Homeowners do not need to contact the DNR, our staff will contact you if we have questions about your specific complaint. DNR will notify all parties when the final Well Interference Technical Report is complete. More information on the resolution process is available on the DNR webpage listed below.

When the DNR investigates a well interference complaint, we evaluate all available information: groundwater use pumping data, groundwater aquifer levels, geology, aquifer properties, timing of problems and well condition, to determine whether the complaint is valid or not valid.

- A valid complaint means that the well was out of water because of neighboring high-capacity pumping and water use.
- A not valid complaint means that the well was out of water for some other reason **not** related to neighboring high-capacity pumping and water use.

Important Information for Ham Lake Residents with well problems

If you are aware of a Ham Lake resident who has had water supply problems and had the pump lowered and/or replaced in 2021 or 2022, they may be eligible for reimbursement of costs incurred to restore your water supply. More information is available at https://www.dnr.state.mn.us/waters/watermgmt_section/appropriations/interference.html

October Update on the Blaine – Ham Lake Well Interference Situation

Recent articles in the Ham Laker newsletter reported on some private well problems that may have been caused by the City of Blaine pumping four new wells. Three of the new wells stopped pumping in mid-August and have not pumped water since.

What is happening with the Groundwater?

Groundwater levels continue to rise in the Blaine and Ham Lake area, although the rate is slower than the initial increase in mid-August and September. This is a normal trend when a high-volume water user stops pumping.

The Minnesota Department of Natural Resources (DNR) has funded the installation of two new water level observation wells (obwells) that are located at the Blaine Public Works building. Obwells monitor the static water levels of an aquifer over time.

This monitoring location at the Blaine Public Works building now has four observation wells that monitor water levels in four different aquifers: the water table aquifer at 18 feet deep, a deep confined aquifer at 222 feet deep, and two bedrock aquifers--the Tunnel City Group at 290 feet deep and the Wonewoc aquifer at 430 feet deep. A “well nest” like this will help us to understand the vertical movement of water in this setting and help explain how the four separate aquifers interact throughout the years.

The wells will be visited quarterly by the Anoka Soil and Water Conservation District and data from the monitoring equipment will provide hourly water levels from each of the four wells. The DNR obwell network collects static groundwater level data to assess groundwater resources, determine long-term trends, interpret impacts of pumping and climate, plan for water conservation, and evaluate water use conflicts and well interferences.

Well Complaints Update - As of 10/27/22

- 133 reported well interference complaints have been received by the City of Blaine and DNR.
- 102 complaints have been referred to the DNR.
- 59 DNR Well Interference Complaint Forms have been received.
- 21 residents of Blaine or Ham Lake have been reimbursed.

Progress on the Well Interference Investigation

DNR staff continue to monitor groundwater levels and analyze permitted water use data. DNR staff are also calling well drillers to get additional information about what they observed at domestic wells this summer. DNR met with city staff from Blaine and Ham Lake in September to update them on the DNR process for investigating well interferences. When the DNR investigates a well interference complaint, we evaluate all available information: groundwater use pumping data, groundwater aquifer levels, geology, aquifer properties, timing of problems and well condition, to determine whether the complaint is valid or not valid.

- A valid complaint means that the well was out of water because of neighboring high-capacity pumping and water use.
- A not valid complaint means that the well was out of water for some other reason **not** related to neighboring high-capacity pumping and water use.

Important Information for Ham Lake Residents with well problems

If you are a Ham Lake resident who has had water supply problems and had your pump lowered and/or replaced in 2021 or 2022, you may be eligible for reimbursement of costs incurred to restore your water supply. **Important** If a new well is drilled, the old well should not be sealed until the investigation is complete. The DNR will not be able to investigate, if a well is sealed.

To be considered for reimbursement, residents must submit a written DNR Water Well Information and Complaint Questionnaire Form and the invoice from the well contractor. All costs associated with providing a water supply may be eligible for reimbursement, including the well contractor costs, pumps, bottled water, etc. More information is available at https://www.dnr.state.mn.us/waters/watermgmt_section/appropriations/interference.html

To submit a complaint form, contact the DNR well interference program

Carmelita Nelson, Water Conservation Consultant

Phone: 651-259-5034 or email: Carmelita.nelson@state.mn.us

Or send paper complaint forms to:

Carmelita Nelson

Ecological and Water Resources Division

Minnesota Department of Natural Resources

500 Lafayette Road

The September issue of the Ham Laker newsletter reported on some private well problems that may have been caused by the City of Blaine pumping four new wells. Blaine has now ceased pumping from three of these municipal wells and we are seeing rising groundwater levels and a reduction in the number of well/water supply complaints.

What is a Well Interference?

When a high capacity well is pumping, a portion of the aquifer around it is dewatered in a pattern known as a cone of depression. Domestic wells located within the cone of depression may experience lower water levels and have problems getting water if water levels drop below the pump in the well. When the big well interferes with the ability of the small well to pump water, the condition is referred to as “well interference.”

Most well interference problems tend to be localized and short in duration. They often occur during the late summer in a dry year. Being without water is a major inconvenience and can cause damage to the well, the pump or household appliances. The Minnesota Department of Natural Resources (DNR) has been responsible for investigating well interference complaints for 45 years. There is no fee for the investigation, but they do take time to resolve.

Well Complaints Update - As of 9/28/22

- 125 reported well interference complaints have been received by the City of Blaine/DNR.
- 96 complaints have been referred to the DNR.
- 46 DNR Well Interference Complaint Forms have been received.
- 18 Blaine/Ham Lake residents have been approved for reimbursement and some have already received checks.

Responsibilities

Originally, Blaine said they would reimburse well repair costs for Blaine residents and Ham Lake residents south of Bunker Lake Road that met their well interference plan criteria. However, due to the high volume of out of water complaints from Ham Lake residents and other factors, the City of Blaine has narrowed the complaints they will accept to only complaints south of 133rd Lane or the streets spurring off that road. All other Ham Lake out of water complaints are being referred to the DNR.

The reason Blaine is requesting the DNR’s assistance is that there are multiple large water users in the Ham Lake area, including sod farms, golf courses, athletic fields and farm irrigation systems. Some of these other high volume water users may also be contributing to lowering the groundwater levels. The DNR is assisting private well owners and the City of Blaine in determining the cause of the well problems and who, if anyone, is responsible for reimbursing homeowners for the costs incurred to restore individual private water supplies.

Important Information for Ham Lake Residents with well problems

How do you know if the water level has dropped in your well? Residents who have experienced water level issues typically say they first observed a reduction in water pressure, they turned on the faucet and nothing came out, or they heard their pump motor running constantly. If this occurs, call a licensed well contractor (driller). Have your well serviced and keep your receipts.

After the licensed well driller has serviced your well, private well owners who have problems with their water supply can submit a well interference complaint form to the DNR for investigation. The well interference program investigates water quantity issues; it is not for water quality problems such as odors, iron or other mineral deposits in the water. If you are a Ham Lake resident who has had water supply problems and had your pump lowered and/or replaced in 2021 or 2022, you may be eligible for reimbursement of costs incurred to restore your water supply. **IMPORTANT:** If a new well is drilled, the old well should not be sealed until the investigation is complete. The DNR will not be able to investigate if a well is sealed.

In order to be considered for reimbursement, residents must submit a written DNR Water Well Information and Complaint Questionnaire Form and the invoice from the well contractor. All costs associated with providing a water supply may be eligible for reimbursement, including the well contractor costs, pumps, bottled water, etc. More information is available

at https://www.dnr.state.mn.us/waters/watermgmt_section/appropriations/interference.html

To submit a complaint form, contact the DNR well interference program

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Ecological and Water Resources Division

Minnesota Department of Natural Resources

500 Lafayette Road

St. Paul, MN 55155-4025

Maintenance and testing of your private well

The Minnesota Department of Health (MDH) provides an excellent online resource for homeowners, called the Well Owner's Handbook. All wells do require some maintenance.

MDH recommends private well owners should test their water quality regularly.

Anoka County has a water testing program available for residents. This link provides information about the program and how to get the sampling

kit <https://www.anokacountymn.gov/2009/Well-Water-Testing>. Specific water sampling-related questions can be directed ahead of time to Michael Wagner at 763-324-4207.

Irrigating Large Lawns

Do you have an irrigated lawn that is equal to or bigger than 1.4 acres? If so, the amount of water you use to irrigate your lawn and landscape likely requires a water appropriation permit from the Minnesota Department of Natural Resources (DNR). The DNR is responsible for managing the quantity of water in our aquifers (underground sources) and surface waters (lakes, rivers, streams and wetlands) for all users and the natural resources that depend on that water, too.

In order to help manage the quantity of water throughout the state, the DNR requires a permit to pump water for irrigation or other business purposes if you use more than 10,000 gallons per day or 1 million gallons per year. Large residential lots that irrigate their lawn and landscape may need a permit, depending on the size of the area that is watered and the amount of water typically used to run through the irrigation system.

Help conserve your drinking water by converting a portion of your lawn into landscaping that is drought tolerant and provides habitat for butterflies, pollinators and birds. Native prairie plants are a great alternative to sod. More information is available at https://www.dnr.state.mn.us/pollinator_resources/index.html or on the DNR Prairie Podcast <https://www.dnr.state.mn.us/prairiepod/index.html>. Contact your local soil and water conservation district or landscaping company for designs and plans that require less water.

Contact the DNR's Sara Mielke at 651-259-5879 sara.mielke@state.mn.us or Joe Richter at 651-259-5877 joe.richter@state.mn.us to find out if your irrigation system requires a permit. Help protect our natural resources for fish and wildlife habitat, and our water supplies for current and future generations.

Pumping and Groundwater Levels

- Due to the high volume of well interference complaints, the City of Blaine has voluntarily stopped pumping water from three of their four new wells.
- Blaine has stopped all irrigation on City property, with the exception of athletic fields.
- The DNR is monitoring groundwater levels at multiple locations.
- In the past week, groundwater levels have started to rise.
- Additional rain the past week has also reduced the demand for outdoor water use.
- In addition to Blaine submitting their pumping records, 19 other high-volume water permittees are also submitting their water use data.

Complaint Update - As of 8/29/22

- A total of 74 well interference complaints have been received by the City of Blaine and/or the DNR.
- 12 Blaine residents have been approved for reimbursement for well repairs/improvements, some have already received checks. Additional complaints are being reviewed.
- 51 of the 74 complaints have been referred to the DNR for review because of the distance from the Blaine wells and hydrological complexity. If the DNR finds these complaints valid, then the City of Blaine and/or other high volume water users will be responsible for negotiating a settlement with the homeowners.
- In order for the DNR to investigate, a written form must be submitted. Of the 51 complaints referred to the DNR, 19 people have submitted DNR Well Interference Complaint Forms.

Timeline

- The DNR anticipates that it may take several months to investigate all of the out-of-water complaints.
- We will provide monthly email updates to the City of Blaine and Ham Lake and to residents who have submitted a complaint and provided an email address.

What can you do?

- If you, or someone you know, have experienced private well water supply issues recently and would like to be considered for reimbursement for repairs, fill out the **DNR Water Well Information and Complaint Form**. The forms may be printed, completed and then mailed or emailed back to the DNR.

- We encourage all residents of Blaine and Ham Lake to conserve water as much as possible, especially by reducing or temporarily stopping lawn watering. For additional water conservation ideas, visit the [DNR Water Conservation webpage](#).
-

Situation:

The City of Blaine finished their fourth water treatment plant at the end of 2021. They have four new wells providing water to this plant. This is the first summer that it is fully operational.

As anticipated in the Blaine Well Interference Plan, the heavy pumping during this summer's drought is causing nearby private well owners to have issues with their water supply. We know from well drillers, this is also impacting some residents with private wells in Ham Lake.

Blaine's Response:

Blaine is prepared to pay for private wells to be repaired or replaced, even if they are outside the city limits (this area borders on Ham Lake). Last week Blaine city staff sent postcards to all Blaine residents in the area explaining the procedures. We don't know if or how they will be contacting Ham Lake residents with private wells.

Blaine has said: The modeling figures 1 and 2 are what the City of Blaine will be basing the decisions on how to respond to complaints. If the drawdown in a complainant's well matches or is close to the model, the homeowner will be reimbursed by the City of Blaine once they provide a paid invoice or receipt. If the drawdown is significantly different than the model, the City will direct them to use the [DNR Well Interference Process](#).

Info for Ham Lake Residents:

- If your property is located south of Bunker Lake Boulevard you can contact the City of Blaine to see if you are eligible for reimbursement from the City of Blaine or if you will be directed to file with the DNR well interference program.

The primary contact for the Blaine Well Reimbursement program is Stefan Higgins 763-717-2722 or shiggins@blainemn.gov

The homeowner can pay the well driller, then submit the paid invoice to the City of Blaine for reimbursement.

IMPORTANT: If a new well is drilled, the old well should not be sealed until the investigation is complete. DNR will not be able to investigate if a well is sealed.

- If your property is located north of **Bunker Lake Boulevard** you need to file with the DNR well interference program (call the number below)

Carmelita Nelson

Water Conservation Consultant| Ecological & Water Resources

Minnesota Department of Natural Resources

500 Lafayette Road

St. Paul, MN 55155-4025

Phone: 651-259-5034

Email: Carmelita.nelson@state.mn.us

[Well Interference Flow Chart](#)

[Well Interference Memo](#)

