

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, DECEMBER 18, 2023

- 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**
- 2.0 PUBLIC COMMENT**
- 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS**
- 3.1 Lt. Anthony Mendoza, Anoka County Sheriff's Office Monthly Report

### **4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of December 4, 2023 and Workshop Minutes of December 4, 2023 and December 11, 2023
- 4.2 Approval of claims
- 4.3 Approval of hiring part-time warming house attendants
- 4.4 Approval of a 10-year extension of the Master Development for Deer Haven Hills
- 4.5 Approval of a Resolution scheduling a public hearing to vacate a portion of the roadway easement located at 2152 South Ham Lake Drive NE
- 4.6 Approval of extending conditional offers to paid-on-call firefighters
- 4.7 Approval of completed probationary period for firefighters
- 4.8 Approval of directing the City Attorney to negotiate acquisition of a temporary roadway easement from Lot 1, Block 2, Brook View Meadows
- 4.9 Approval of a Resolution requesting bridge funding for replacement of County Ditch 58 Culverts

### **5.0 PLANNING COMMISSION RECOMMENDATIONS**

- 5.1 Nicholas Holm of Twin Town Demolition requesting a Conditional Use Permit to operate a demolition for renovation construction service contractor business at 16648 Polk Street NE and adoption of a Resolution
- 5.2 Nicholas Holm of Twin Town Demolition requesting Commercial Site Plan approval to construct a 4,608 square foot office/warehouse building at 16648 Polk Street NE. PID# 08-32-23-33-0013

### **6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

### **7.0 APPEARANCES – None**

### **8.0 CITY ATTORNEY**

### **9.0 CITY ENGINEER**

### **10.0 CITY ADMINISTRATOR**

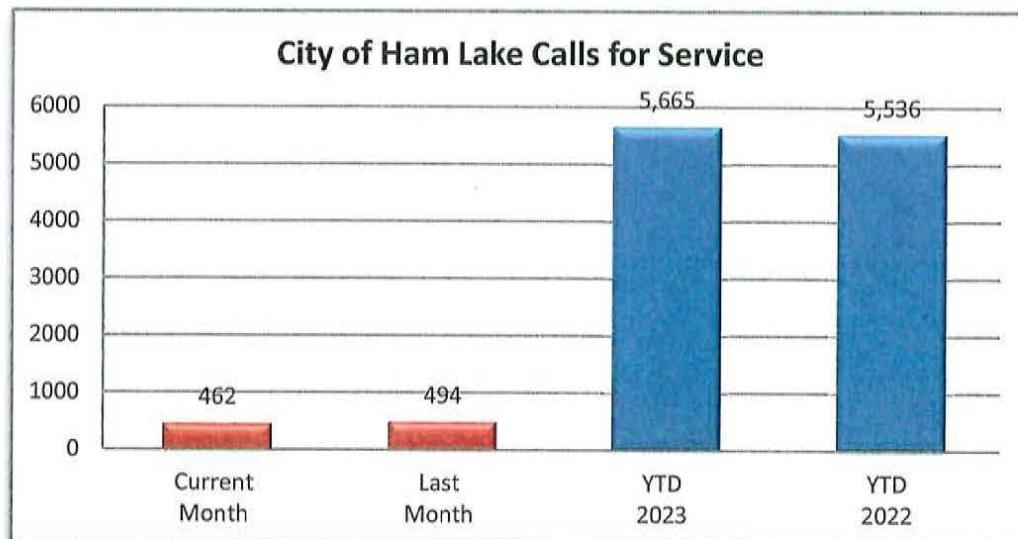
### **11.0 COUNCIL BUSINESS**

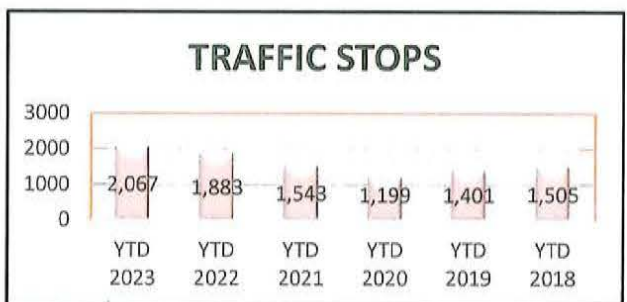
- 11.1 Committee Reports
- 11.2 Discussion of scheduling a workshop meeting regarding wetland banks
- 11.3 Announcements and future agenda items

**PATROL DIVISION**

**CITY OF HAM LAKE - NOVEMBER 2023**

OFFENSE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YTD 2023	YTD 2022
Call for Service	505	456	494	512	568	619	560	506	489	494	462		5,665	5,536
Burglaries	3	0	1	1	1	0	0	0	0	2	1		9	22
Thefts	17	11	10	7	6	13	8	12	8	11	4		107	141
Crim Sex Conduct	0	0	0	0	0	0	1	2	1	0	1		5	7
Assault	2	3	1	7	2	0	1	3	4	3	4		30	11
Dam to Property	0	3	1	1	2	2	1	2	2	2	1		17	37
Harass Comm	0	0	0	0	0	0	0	0	0	0	0		0	2
PI Accidents	5	6	5	4	9	2	7	4	5	7	8		62	79
PD Accidents	27	26	33	29	30	30	26	22	26	30	34		313	316
Medical	68	63	60	62	47	55	61	56	55	46	55		628	686
Animal Complaint	28	36	19	25	37	38	29	33	22	24	33		324	318
Alarms	19	26	29	21	30	36	34	30	35	25	27		312	340
Felony Arrests	6	2	2	3	1	2	3	1	2	2	2		26	60
GM Arrests	4	4	6	6	8	0	2	3	2	4	2		41	40
Misd Arrests	3	5	7	7	3	4	2	7	4	12	5		59	64
DUI Arrests	0	6	3	3	3	1	3	5	2	4	3		33	26
Drug Arrests	1	6	2	3	0	3	0	1	0	3	0		19	47
Domestic Arrests	1	1	1	4	1	0	2	2	1	3	2		18	26
Warrant Arrests	6	1	4	5	10	3	3	5	3	3	1		44	78
Traffic Stops	223	145	228	160	189	220	213	158	159	164	208		2,067	1883
Traffic Arrests	53	35	51	38	48	51	53	36	56	48	53		522	528



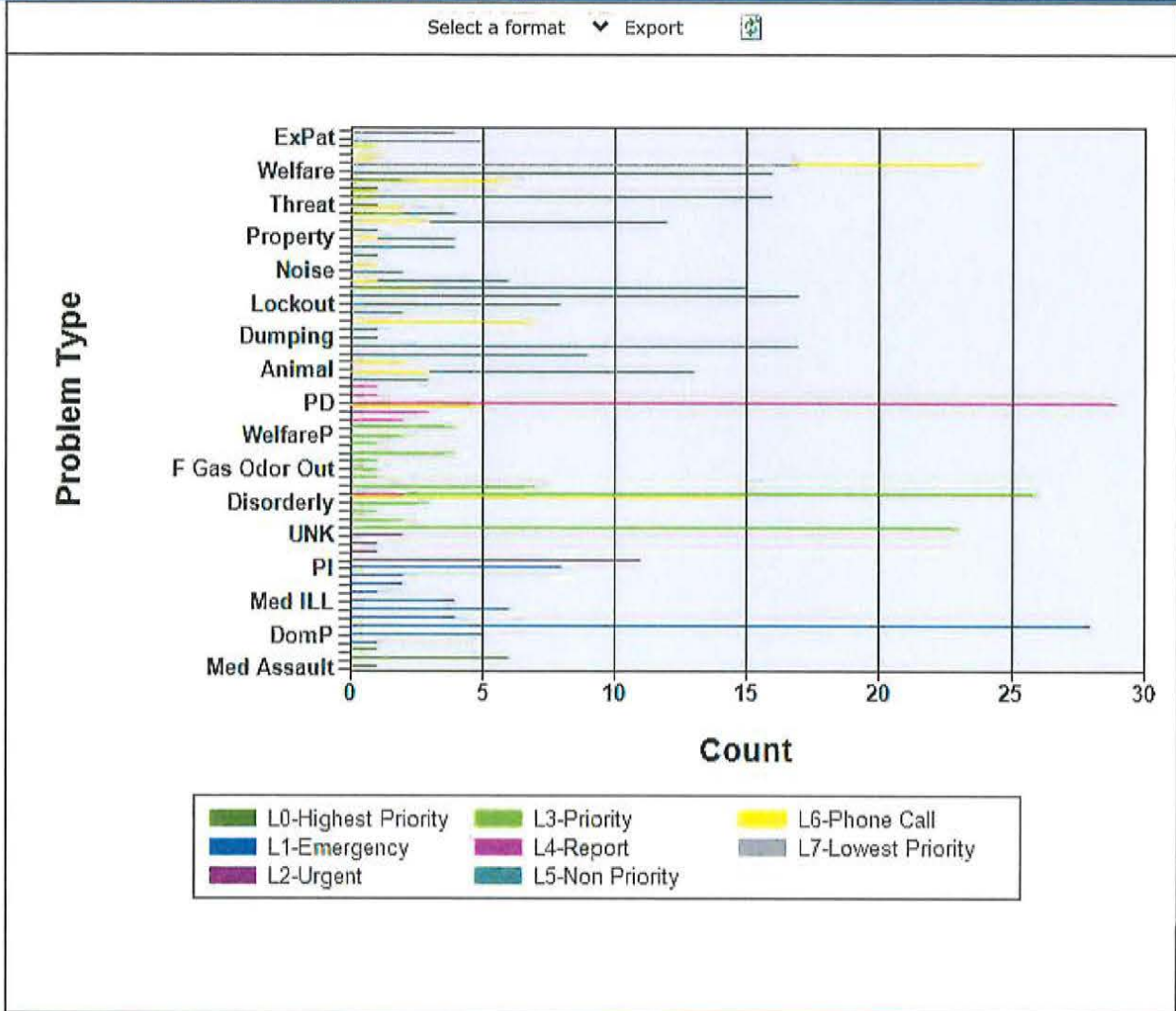


### Problem Type Summary

1:19 PM 12/05/2023

Data Source: Data Warehouse

<b>Agency:</b>	<b>LAW ENFORCEMENT</b>
<b>Division:</b>	<b>Ham Lake Law</b>
<b>Day Range:</b>	<b>Date From 11/1/2023 To 11/30/2023</b>
<b>Exclusion:</b>	<b>• Calls canceled before first unit assigned</b>



4

Priority	Description
0	L0-Highest Priority
1	L1-Emergency
2	L2-Urgent
3	L3-Priority
4	L4-Report
5	L5-Non Priority
6	L6-Phone Call
7	L7-Lowest Priority

Problem Type	Priority								Total
	0	1	2	3	4	5	6	7	
911	0	0	11	0	0	0	0	0	<b>11</b>
Abandon	0	0	0	0	0	3	0	0	<b>3</b>
Abuse	0	0	0	0	0	0	0	0	<b>0</b>
AbuseP	0	0	0	0	0	0	0	0	<b>0</b>
AlarmB	0	0	0	23	0	0	0	0	<b>23</b>



MA	0	0	0	0	0	17	0	0	17
MASS	0	0	0	0	0	0	0	0	0
Med -	0	28	0	0	0	0	0	0	28
Med Alarm	0	4	0	0	0	0	0	0	4
Med Allergic	0	0	0	0	0	0	0	0	0
Med Assault	1	0	0	0	0	0	0	0	1
Med Blood	0	0	0	0	0	0	0	0	0
Med Breathing Diff	6	0	0	0	0	0	0	0	6
Med Breathing Not	1	0	0	0	0	0	0	0	1
Med Choking	0	0	0	0	0	0	0	0	0
Med Drown	0	0	0	0	0	0	0	0	0
Med Electro	0	0	0	0	0	0	0	0	0
Med Fall	0	0	0	0	0	0	0	0	0
Med Heart	0	6	0	0	0	0	0	0	6
Med Hold	0	0	0	0	0	0	0	0	0
Med ILL	0	4	0	0	0	0	0	0	4
Med Info	0	0	0	0	0	0	0	0	0
Med OB	0	0	0	0	0	0	0	0	0
Med Priority	0	0	0	0	0	0	0	0	0
Med Sabote	0	1	0	0	0	0	0	0	1
Med Stab-Gunshot	0	0	0	0	0	0	0	0	0
Med Stroke	0	2	0	0	0	0	0	0	2
Med Uncon	0	2	0	0	0	0	0	0	2
Medex	0	0	0	0	0	0	0	0	0
Misc	0	0	0	0	0	15	3	0	18
MiscO	0	0	0	0	0	6	1	0	7
Mutual Aid Law	0	0	0	0	0	0	0	0	0
Noise	0	0	0	0	0	2	0	0	2
NoTag	0	0	0	0	0	0	0	0	0
Ord	0	0	0	0	0	1	1	0	2
Other	0	0	0	0	0	0	0	0	0
Perk	0	0	0	0	0	1	0	0	1
PD	0	0	0	0	29	0	5	0	34
Person	0	0	0	0	0	0	1	0	1
PT	0	8	0	0	0	0	0	0	8
POB	0	0	0	0	0	4	0	0	4
Property	0	0	0	0	0	4	1	0	5
PW	0	0	0	0	0	0	0	0	0
REPO-TOW	0	0	0	0	0	0	0	4	4
RI	0	0	0	0	0	0	0	0	0
RoadClosure	0	0	0	0	0	0	0	0	0
Robbery	0	0	0	0	0	0	0	0	0
RobberyP	0	0	0	0	0	0	0	0	0
Shots	0	0	0	4	0	0	0	0	4
Stumper	0	0	0	0	1	0	0	0	1
StolenProp	0	0	0	0	0	1	0	0	1
Suicide	0	0	0	0	1	0	0	0	1
SuicideP	0	0	0	0	0	0	0	0	0
Susp	0	0	0	0	0	12	3	0	15
SuspP	0	0	0	0	0	0	0	0	0
Theft	0	0	0	0	0	4	2	0	6
TheftP	0	0	0	0	0	0	0	0	0
Threat	0	0	0	0	0	1	2	0	3
ThreatP	0	0	0	0	0	0	0	0	0
Traf	0	0	0	0	0	16	1	0	17
Tres	0	0	0	0	0	1	1	0	2
UNK	0	0	2	0	0	0	0	0	2
Unsecure	0	0	0	0	0	0	0	0	0
Vand	0	0	0	0	0	0	0	0	0
VandP	0	0	0	0	0	0	0	0	0
VehTheft	0	0	0	0	0	2	6	0	8
VehTheftP	0	0	0	1	0	0	0	0	1
Weapon	0	0	0	0	0	0	0	0	0
Weather	0	0	0	0	0	0	0	0	0
Welfare	0	0	0	0	0	16	0	0	16
WelfareP	0	0	0	2	0	0	0	0	2

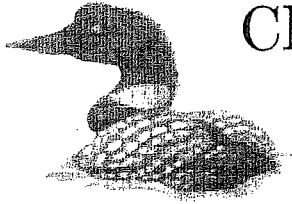
WT

Total

0	0	0	4	0	0	0	0	4
<b>8</b>	<b>61</b>	<b>15</b>	<b>76</b>	<b>38</b>	<b>159</b>	<b>79</b>	<b>26</b>	<b>462</b>

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# CITY OF HAM LAKE

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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, DECEMBER 4, 2023

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, December 4, 2023 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide, Al Parranto and Jesse Wilken

**MEMBERS ABSENT:** None

**OTHERS PRESENT:** City Attorney, Mark Berglund; City Engineer, Tom Collins; City Administrator, Denise Webster; Finance Director, Angela Brumbaugh; and Deputy City Clerk, Dawnette Shimek

### **1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**

Mayor Kirkham called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### **2.0 PUBLIC COMMENT**

Cindy Kallestad, 16220 Bataan Street NE, stated that taxes are going up and asked what the City is using the money for as she wants it to be spent carefully.

Mayor Kirkham stated the budget would be discussed during the scheduled public hearing.

### **3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS**

6:01 p.m. – Public Hearing – to consider the adoption of Resolution No. 23-53 for the 2024 Budget, Levy and Five-Year Capital Improvement Plan

Mayor Kirkham stated that properties are taxed based on property value. Mayor Kirkham stated that residential values have gone down for some homes and commercial values went up for some. Mayor Kirkham stated that the City Council adopts the preliminary budget in September of each year and this year the City Council adopted a 7% increase in the levy. Mayor Kirkham stated that the levy cannot be increased following the adoption of the preliminary budget; but it can be lowered. Mayor Kirkham stated that the tax rate has been dropping over the past 12 years. Mayor Kirkham stated that the budget being adopted has been lowered from the preliminary adoption of 7% increase to a 4.38% increase with reasons for the increase being paying for Fire Station 3 with cash that has been saved over the past approximately 15 years, Elections costs, purchasing two plow trucks for the Public Works Department and an increase in the Anoka County Sheriff's Office contract. Mayor Kirkham stated that by 2025 he would like to see the increase to be 3% or less and in 2026 he would like to see a 0% increase in the levy.



**Mayor Kirkham opened the public hearing at 6:06 p.m. for comment.**

Faith Roberts, 14604 Aberdeen Street NE, stated she owns Banner Canvass and has two parcels of land; one with her home where the taxes went up 12.5% and her commercial parcel where the taxes went up 53.1% . Ms. Roberts stated that she attended the County Taxation meeting and has an appointment with the tax accessor to visit her property. Ms. Roberts stated that it has been a pleasure living in Ham Lake and applauds the City for keeping costs down. Ms. Roberts stated that the increase in taxes on her commercial property may not be sustainable being she is a one-person business owner and cannot find employees. Ms. Roberts stated that she has asked for the funding formulas from the County and the State and how to interpret the formulas. Ms. Roberts complimented the City Council on the City's low tax rate.

Barb Koloff, 3222 168<sup>th</sup> Avenue NE, stated that they own Meineke Car Care Center at 13835 Johnson Street NE, and the commercial value and taxes have greatly increased. Ms. Koloff stated that she is frustrated that notices from Anoka County were sent out so late and asked the Anoka County Board what the timeline is for sending notices, but they didn't know. Ms. Koloff stated that she has also talked to Anoka County Commissioner Julie Braastad and questioned why the property value went up \$274,000.00. Ms. Koloff stated that they have lived in Ham Lake since 1998 and purchased the commercial property in 2013. Ms. Koloff stated that they own an outlot adjacent to their residential property and the value on the outlot increased \$20,000.00 and the outlot is not buildable. Ms. Koloff commended the City Council for the city's low tax rate.

Mayor Kirkham asked Cindy Kallestad, 16220 Bataan Street NE, if she had any other concerns to address with the City Council. Ms. Kallestad stated that she understood the primary changes in the budget were constructing Fire Station 3, cost of Elections, purchasing two plow trucks and an increase in the Anoka County Sheriff's Office contract.

**Mayor Kirkham asked for further public comment and with there being none, closed the public hearing at 6:32 p.m.**

**Motion by Kirkham, seconded by Doyle, to adopt Resolution No. 23-53 approving the 2024 Budget, Levy and Fire-Year Capital Improvement Plan. All in favor, motion carried.**

**4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of November 20, 2023
- 4.2 Approval of claims in the amount of \$109,445.88
- 4.3 Approval of scheduling a Workshop Meeting for Monday, December 11, 2023 at 5:00 p.m.
- 4.4 Approval of appointment to the Safety Committee
- 4.5 Approval of the amending the Employee Handbook regarding Emergency Sick and Safe Time (ESST), Timesheets using the Employee Self-Serve (ESS) System and Safety Boots/Clothing
- 4.6 Approval of appointing Mayor Brian Kirkham and Jeff Entsminger to the Upper Rum River Watershed Management Organization City Representatives and Mayor Brian Kirkham and Troy Wolens to the Sunrise Watershed Management Organization as City Representatives

- 4.7 Approval of Resolution No. 23-54 supporting the submittal of a Federal Funding Application for the Trunk Highway 65 and CSAH 116 (Bunker Lake Boulevard) Interchange Project by the Anoka County Highway Department
- 4.8 Approval of hiring part-time snow plow driver
- 4.9 Approval of the following 2024 Business Licenses:  
Tobacco – Bidhipur Beverage, Inc. dba Ham Lake Liquors; Holiday Stationstores LLC dba Holiday Stationstores #2746223; Grape Expectations, Inc. dba Tournament Liquor; Northern Tier Retail, LLC dba Speedway #4537; Eagl Beverage Holdings, LLC dba Majestic Oaks Golf Club; Rama Corporation dba Network Liquor and Wine Corp.; Celine Stop Ham Lake Inc. dba Little Wonder; E-Cig Clubhouse LLC dba E-Cig Clubhouse; Zen Inc. dba Ham Lake BP; Casey’s Retail Store #3753; Broadview Operations, LLC, dba 1 Stop Liquor; Broadview Operations, LLC dba 1 Stop Market; A & H, LLC dba Ham Lake Tobacco; Central Tobacco Inc. dba SmoKing Shop; and DG Retail, LLC dba Dollar General #21464  
Cabaret – Maxx Bar & Grill Inc. dba Maxx Bar & Grill; Eagl Beverage Holdings, LLC dba Majestic Oaks Golf Club; and Dan Dahlin Inc., dba Ham Lake Lanes  
Vending Machine – Mendota Valley Amusement, Inc. (for Maxx Bar & Grill), Midwest Coin Concepts (Ham Lake Lanes)  
Recycling/Refuse – Ham Lake Haulers  
Hotel/Motel – Kevin Eggerth (Ham Lake Apartments), Oasis Life, LLC (AmericInn Ham Lake)

**Motion by Parranto, seconded by Wilken, to approve the December 4, 2023 consent agenda as written. All in favor, motion carried.**

**5.0 PLANNING COMMISSION RECOMMENDATIONS – None**

**6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

**7.0 APPEARANCES**

7.1 Finance Director Angela Brumbaugh, 3<sup>rd</sup> Quarter Financial Report  
Finance Director Brumbaugh gave a summary of the 3<sup>rd</sup> Quarter Financial Report to the City Council. Finance Director Brumbaugh stated that the American Rescue Plan Act (ARPA) has been spent down and there is approximately \$5,000.00 left to allocate. Finance Director Brumbaugh stated that much of the ARPA money has been spent for equipment for the Fire Department and the Public Works Department. Finance Director Brumbaugh stated that cash balance currently appears low because the tax settlement has not posted. The City Council thanked Finance Director Brumbaugh.

**8.0 CITY ATTORNEY**

8.1 Consideration of accepting donated property from Robert & Dianne Arnold to the City of Ham Lake (Pin #20-32-23-13-0009) and adoption of Resolution No. 23-55  
Attorney Berglund stated that Robert and Dianne Arnold desire to donate land to the City as part of their estate planning purposes. Attorney Berglund stated that the Arnolds do not intend to place any restrictions on the City’s use of the property as a condition of their donation. Attorney Berglund added that he has reviewed the title work and the property has a clean title. Councilmember Kirkeide stated that this property was historically known as the Glen Cary property. Discussion followed regarding whether an environmental study should be done on the property. **Motion by Kirkham, seconded by Kirkeide, to accept the donation of land PIN #20-32-23-13-0009 from Robert and Dianne Arnold as a benefit to**

**the citizens of Ham Lake, as allowed by law and adoption of Resolution No. 23-55. All in favor, motion carried.**

8.2 Approval of acting on the cash security in the amount of \$19,840 for Whitetail Crossing 2<sup>nd</sup> Addition and adoption of Resolution 23-56

Attorney Berglund stated that the Whitetail Crossing 2<sup>nd</sup> Addition residential project was accepted at the December 5, 2022 City Council meeting, which commenced the one-year warranty period. Engineer Collins stated that an inspection was conducted on November 29, 2023 found that the concrete ADA compliant pedestrian ramps have not been installed, despite numerous attempts to contact the Developer. **Motion by Kirkham, seconded by Kirkeide, to approve Resolution 23-56 to take action and retain the entire cash security of \$19,840.00 so the City can install the required ADA compliant pedestrian ramps in the development of Whitetail Crossing 2<sup>nd</sup> Addition and refunding the developer any remaining balance after installation is complete along with any engineering and attorney fees. All in favor, motion carried.**

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports

Councilmember Kirkeide requested staff contact Karen Skepper, Executive Director for the Anoka County Housing and Redevelopment Authority (HRA), to obtain information on whether a portion of the HRA funds could be used to contribute to the preliminary engineering costs for the improvement of the Highway 65 NE and Bunker Lake Boulevard NE interchange.

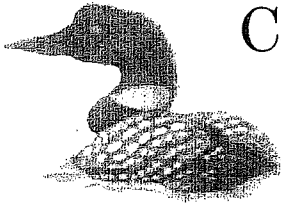
11.2 Announcements and future agenda items

Councilmember Kirkeide reminded the Mayor and Councilmembers that there will be a City Council Workshop meeting on Monday, December 11, 2023 at 5:00 p.m.

**Motion by Kirkeide, seconded by Parranto, to adjourn the meeting at 6:49 p.m. All in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk



# CITY OF HAM LAKE

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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY WORKSHOP MEETING MINUTES DECEMBER 4, 2023

The Ham Lake City Council met on Monday, December 4, 2023 at 5:00 p.m. in the Conference Room at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide, Al Parranto and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Engineer, Tom Collins; City Engineer, Dave Krugler; City Attorney, Mark Berglund; City Administrator, Denise Webster; and Deputy City Clerk, Dawnette Shimek

### 1.0 Call to Order

Mayor Kirkham called the meeting to order at 4:59 p.m.

### 2.0 Discussion with the Anoka County Highway Department regarding Trunk Highway 65 and Bunker Lake Boulevard NE (CSAH 116)

Joe MacPherson, Anoka County Engineer; Jerry Auge, Assistant Anoka County Engineer; Jason Orcutt, Senior Highway Programs Manager; and Julie Braastad, Anoka County Commissioner, were present to discuss the proposed Trunk Highway 65 and Bunker Lake Boulevard NE (County State Aid Highway 116) improvement. Engineer Auge gave a background of the Highway 65 Planning and Environmental Linkages (PEL) Study that was completed in 2021, which included three sections of Highway 65. Section 1 is from 81<sup>st</sup> Avenue NE to 93<sup>rd</sup> Avenue NE; Section 2 an area from north of 93<sup>rd</sup> Avenue NE to 117<sup>th</sup> Avenue NE; and Section 3 is from north of 117<sup>th</sup> Avenue NE to north of Bunker Lake Boulevard NE. Engineer Auge stated that the results of the PEL Study for the Bunker Lake Boulevard NE intersection were either a freeway/interchange or a superstreet similar to Viking Boulevard NE (County State Aid Highway 22). Engineer MacPherson stated that the County has no interest in constructing a superstreet at Bunker Lake Boulevard NE. Engineer Auge stated that the Section 2 improvement, which are scheduled for 2026, are fully funded and will include grade-separated intersections at 99<sup>th</sup> Avenue NE, 105<sup>th</sup> Avenue NE, 109<sup>th</sup> Avenue NE and 117<sup>th</sup> Avenue NE.

Engineer Auge stated that Anoka County has already submitted a grant fund application for up to 10.8 million dollars from the Minnesota Highway Freight Program and will be applying to the Metropolitan Council's Regional Solicitation program for grant funding up to 10 million dollars. Engineer Auge handed out a project summary sheet and stated that the preliminary overall cost estimate of 42 million dollars. Senior Highway Programs Manager Orcutt summarized the 2-year minimum timeframe to obtain MnDOT approvals, which includes the completion of preliminary design. Engineer MacPherson requested City contribution into the preliminary design. The Councilmembers discussed the potential for City participation in the preliminary design being eligible for Anoka County Housing & Redevelopment Authority (HRA)

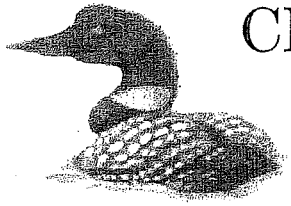
funding, and directed Administrator Webster to discuss this with the HRA Executive Director. Mayor Kirkham stated that the City will respond to the County by mid-January as to their funding request and whether City participation in the preliminary design is eligible for HRA funding.

The group discussed the options for the Buchanan Street NE connection at Constance Boulevard NE. **It was the consensus of the City Council that the best alternative for the southerly connection with Constance Boulevard NE is at Buchanan Street NE.**

**Motion by Kirkham, seconded by Kirkeide, to adjourn the workshop meeting at 5:57 p.m. All in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk



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CITY OF HAM LAKE  
CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY  
WORKSHOP MEETING MINUTES  
DECEMBER 11, 2023

The Ham Lake City Council met on Monday, December 11, 2023 at 5:00 p.m. in the Conference Room at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide and Al Parranto

MEMBERS ABSENT: Councilmember Jesse Wilken

OTHERS PRESENT: City Engineer, Tom Collins; City Attorney, Mark Berglund; City Administrator, Denise Webster; Deputy City Clerk, Dawnette Shimek; Building Official, Mark Jones; and Building and Zoning Clerk, Jennifer Bohr

1.0 Call to Order

Mayor Kirkham called the meeting to order at 5:00 p.m.

2.0 Discussion of Conditional Use Permits (CUP's) that are not in compliance and discussion of adding Interim Use Permits Procedures for future non-compliant CUP holders

**All Event Table, Chair & Tent Rental, LLC at 4651 Crosstown Boulevard NE**

Attorney Berglund stated that All Event Table, Chair & Tent Rental has a Conditional Use Permit to operate at 4651 Crosstown Boulevard NE. The Conditional Use Permit has conditions that do not allow retail sales, no outside storage, with hours of operation being 8:00 a.m. to 8:00 p.m. Monday through Friday and 10:00 a.m. to 12:00 p.m. Saturday and Sunday. Attorney Berglund stated that they are currently renting their barn to hold events such as weddings. Attorney Berglund added that the restroom facilities provided are portable, the traffic and parking could be up to 175. Building and Zoning Official Jones stated the barn was constructed in 2018 for agricultural purposes to keep horses and a building permit was not required at the time, but now with it being rented out it probably would not meet the requirements for an occupied structure as there is no fire suppression system. Building and Zoning Official Jones stated that the assessor visited the property and amended their tax use from residential to residential/commercial. Building and Zoning Official Jones stated that there currently is a venue being constructed in CD-1 (Commercial Development Tier 1) zoning and building codes are required to be followed. Discussion followed regarding this not being a permissible use in the City Code in R-A (Rural Residential) zoning and that there is nothing that can be done to permit this use. **It was the consensus of the City Council to direct Attorney Berglund to draft a letter to the property owner at 4651 Crosstown Boulevard NE to inform them that the use as an event center is not allowed on the property.**

**Automotive Illusions, an autobody and restoration shop at 17638 Highway 65 NE**

Attorney Berglund stated that Automotive Illusions was issued a Conditional Use Permit in May 2022. Attorney Berglund stated that part of the approval of the Conditional Use Permit required construction of a fence to store all vehicles that are damaged, or are awaiting repair; and also required that mechanical codes be met for areas used for the painting booth, welding and auto body filler work. Attorney Berglund stated that neither of these conditions have been met. **It was the consensus of the City Council to direct Attorney Berglund to draft a letter to the property owner at 17638 Highway 65 NE to inform them that they are not meeting the conditions of their Conditional Use Permit.**

**Richland Refrigeration Solutions, LLC at 1305 159<sup>th</sup> Avenue NE**

Attorney Berglund stated that Richland Refrigeration Solutions was issued a Conditional Use Permit in April 2021. Attorney Berglund stated that they are in violation of their Conditional Use Permit, specifically the requirement to construct a fence at least eight feet high of material acceptable to the Building Official. Building and Zoning Official Jones stated that Mr. Ibrahim wanted to use a cloth material for the fencing, but that does not hold up. Building Official Jones stated that he could add slats to the chain link fencing to come into compliance. Attorney Berglund stated that he advised Akil Ibrahim in a letter he sent to contact Building and Zoning Official Jones to discuss an acceptable resolution to the violations, but he has not. Attorney Berglund stated in the letter that the City would seek revocation of the Conditional Use Permit. Discussion followed regarding possibly planting trees for screening from the residential property. **It was the consensus of the City Council to direct Attorney Berglund to contact Mr. Ibrahim and inform him to work with Building and Zoning Official Jones to arrive at a satisfactory conclusion and if he refuses, to move forward with the revocation of the Conditional Use Permit for Richland Refrigeration Solutions, LLC at 1305 159<sup>th</sup> Avenue NE.**

**Foster Trucking & Excavating at 1561 Bunker Lake Boulevard NE**

Attorney Berglund stated that the Conditional Use Permit for Foster Trucking & Excavating was revoked by the City Council on January 21, 2020 per Resolution No. 20-02 Findings of Fact. Attorney Berglund stated that he can file litigation with the District Court. Attorney Berglund stated that a judge will interpret the language of the Conditional Use Permit. Councilmember Kirkeide stated that he has received calls from commercial business asking why Foster Trucking & Excavating can continue to operate. **It was the consensus of the City Council to direct Attorney Berglund to reach out to Noel Foster's attorney and find out his intention and whether the City has to go forward with litigation.**

1. If a deadline is not listed on a CUP to meet a condition, the condition must be completed within 6 months of issuance of the CUP

This item was not discussed.

2. Escrow or security to guarantee performance

Attorney Berglund stated that requiring security for a Conditional Use Permit to meet conditions of a permit does not make sense. It is the Conditional Use Permit holder's responsibility to meet the conditions set by the City Council.

3.0 Discussion of Radisson Road NE rezoning and potential City Code modifications for brew pub

Mayor Kirkham stated that he spoke with the property owner and he does not plan to move forward with the rezoning or opening a brew pub on the property. Mayor Kirkham stated that he would like to grow flowers and pumpkins on site and possibly have a fall festival. Mayor Kirkham stated that currently the

property owner is working to restore some of the buildings on site. Mayor Kirkham added that he may request to sell Christmas trees, which would require a code change, in the future.

4.0 Discussion of City Code updates (time permitting)

This item will be placed on a future workshop meeting agenda.

5.0 Discussion of scheduling a future workshop meeting – None

Administrator Webster updated the City Council regarding if funds from Anoka County HRA (Housing & Redevelopment Authority) can be used for the planning of the improvement of Bunker Lake Boulevard NE and Highway 65 NE. Administrator Webster stated that HRA funds cannot be used for this. **It was the consensus of the City Council to add discussion of funding a portion of the planning of the improvement of Bunker Lake Boulevard NE and Highway 65 NE from the revolving street fund to a January 2024 City Council agenda.**

Motion by Kirkeide, seconded by Parranto, to adjourn the workshop meeting at 6:06 p.m. All present in favor, motion carried.

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Dawnette Shimek, Deputy City Clerk





City of Ham Lake, MN

# Refund Check Register

Packet: ARPKT00951 - 12/07/23 TRUST REFUND

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00408	PARENT CUSTOM HOMES LLC	12/7/2023	65661	2,500.00
Total Refund Amount:				2,500.00

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	2,500.00
Revenue Totals:	2,500.00

## General Ledger Distribution

Posting Date: 12/07/2023

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-2,500.00	Yes
890-11501	Misc receivables	2,500.00	
	<b>890 Total:</b>	<b>0.00</b>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-2,500.00	
999-20702	Due to other funds	2,500.00	Yes
	<b>999 Total:</b>	<b>0.00</b>	
	<b>Distribution Total:</b>	<b>0.00</b>	



Packet: ARPKT00955 - 12/14/23 TRUST REFUND

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00440	CARLY GEISSLER	12/14/2023	65663	150.00
			Total Refund Amount:	150.00

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	150.00
Revenue Totals:	150.00

## General Ledger Distribution

Posting Date: 12/14/2023

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-150.00	Yes
890-11501	Misc receivables	150.00	
	<b>890 Total:</b>	<b>0.00</b>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-150.00	
999-20702	Due to other funds	150.00	Yes
	<b>999 Total:</b>	<b>0.00</b>	
	<b>Distribution Total:</b>	<b>0.00</b>	



Payment Dates 12/5/2023 - 12/18/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1965	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	89.98
1965	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	14.99
1965	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
1965	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	89.98
1965	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	14.99
1965	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
1966	BLAINE BROTHERS INC	#93 BATTERY CORES	Vehicle parts & supplies	100-43101-2340	-159.90
1966	BLAINE BROTHERS INC	#93 BATTERY CORE	Vehicle parts & supplies	100-43101-2340	-31.98
1966	BLAINE BROTHERS INC	#93 BATTERY CORE REVERSAL	Vehicle parts & supplies	100-43101-2340	31.98
1966	BLAINE BROTHERS INC	#80 BATTERIES	Vehicle parts & supplies	100-43101-2340	372.57
1966	BLAINE BROTHERS INC	#93 & #80 BATTERY CORES	Vehicle parts & supplies	100-43101-2340	159.90
1966	BLAINE BROTHERS INC	#93 BATTERIES	Vehicle parts & supplies	100-43101-2340	248.38
1966	BLAINE BROTHERS INC	#93 BATTERY	Vehicle parts & supplies	100-43101-2340	124.19
1966	BLAINE BROTHERS INC	#93 BATTERY CORE	Vehicle parts & supplies	100-43101-2340	31.98
1966	BLAINE BROTHERS INC	#81 HUB TOOL HANDLE ASSE	Vehicle parts & supplies	100-43101-2340	-69.40
1966	BLAINE BROTHERS INC	#93 BATTERY	Vehicle parts & supplies	100-43101-2340	-124.19
1966	BLAINE BROTHERS INC	#93 BATTERY CORE	Vehicle parts & supplies	100-43101-2340	-31.98
1966	BLAINE BROTHERS INC	#81 FRONT AXLE KING PIN RE	Vehicle repair & maintenance	100-43101-3470	1,464.65
1967	CHARLES SIMMONS	SAFETY BOOTS	Clothing & personal protectiv	100-43101-2210	150.00
1968	DENISE WEBSTER	NORTH METRO TV (1/3, 1/31,	Mileage	100-41201-3960	32.42
1968	DENISE WEBSTER	SRWMO MEETING (EAST BET	Mileage	100-41201-3960	7.01
1968	DENISE WEBSTER	LL AMERICAN TITLE COMPAN	Mileage	100-41201-3960	6.81
1968	DENISE WEBSTER	ANOKA COUNTY HIGHWAY DE	Mileage	100-41201-3960	4.06
1969	HOTSY MINNESOTA	HOSE SUPPLIES TO RE-PLUMB	Building repair & maintenanc	100-43104-2310	505.75
1970	MEDTOX LABORATORIES	DRUG TESTING	Personnel testing & recruitme	100-42201-3150	129.84
1971	O'REILLY AUTOMOTIVE STORE	SWIVEL & FILTER WRENCHES,	Covid 19	100-41701-4153	78.96
1971	O'REILLY AUTOMOTIVE STORE	#70 OIL FILTER	Vehicle parts & supplies	100-43101-2340	7.17
1971	O'REILLY AUTOMOTIVE STORE	FUSE HOLDERS, GROMMETS	Operating supplies	100-43101-2290	37.25
1971	O'REILLY AUTOMOTIVE STORE	OIL FILTER	Operating supplies	100-43101-2290	7.17
1971	O'REILLY AUTOMOTIVE STORE	SWIVEL WRENCH	Covid 19	100-41701-4153	12.99
1971	O'REILLY AUTOMOTIVE STORE	ABSORBENT	Operating supplies	100-42201-2290	199.80
1971	O'REILLY AUTOMOTIVE STORE	ANTIFREEZE	Equipment parts & supplies	100-42201-2320	38.94
1972	RFC ENGINEERING, INC.	TWIN BIRCH ACRES	Engineering	431-43301-3135	54.00
1972	RFC ENGINEERING, INC.	LUND'S LAKEVIEW FOREST	Engineering	431-43301-3135	144.13
1972	RFC ENGINEERING, INC.	MEADOW PARK RECONSTRUC	Engineering	431-43301-3135	10,260.32
1972	RFC ENGINEERING, INC.	CREEK VALLEY RECONSTRUCTI	Engineering	431-43301-3135	427.75
1972	RFC ENGINEERING, INC.	POLK STREET	Engineering	431-43301-3135	54.00
1972	RFC ENGINEERING, INC.	TIPPECANOE STREET	Engineering	431-43301-3135	54.00
1972	RFC ENGINEERING, INC.	CROSSTOWN BUSINESS PARK	Capital assets	262-46101-5110	2,135.27
1972	RFC ENGINEERING, INC.	CROSSTOWN SHOPPING CENT	Engineering	431-43301-3135	5,409.48
1972	RFC ENGINEERING, INC.	COON LAKE CHANNEL DRIDGI	Engineering	100-41101-3135	365.00
1972	RFC ENGINEERING, INC.	AERIAL MAPPING	Engineering	100-41101-3135	376.14
1972	RFC ENGINEERING, INC.	COUNCIL MEETING	Engineering	100-41101-3135	68.96
1972	RFC ENGINEERING, INC.	ANOKA COUNTY GIS DATA EX	Engineering	100-41101-3135	170.06
1972	RFC ENGINEERING, INC.	2023 ASSETS	Engineering	100-41101-3135	650.03
1972	RFC ENGINEERING, INC.	159TH AVE ROW VACATION	Engineering	100-41101-3135	14.27
1972	RFC ENGINEERING, INC.	CITY CODE UPDATE	Engineering	100-41102-3135	834.64
1972	RFC ENGINEERING, INC.	15155 UNIVERSITY AVE LOT LI	Engineering	100-41601-3135	199.81
1972	RFC ENGINEERING, INC.	PLANNING COMMISSION MEE	Engineering	100-41601-3135	26.14
1972	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	269.96
1972	RFC ENGINEERING, INC.	ZONING MAP	Engineering	100-41601-3135	525.02
1972	RFC ENGINEERING, INC.	AVAILABLE RESIDENTIAL LOTS	Engineering	100-41601-3135	508.19
1972	RFC ENGINEERING, INC.	FIRE MAP	Engineering	100-42201-3135	13.07
1972	RFC ENGINEERING, INC.	L1 B2 ENTERPRISE PLAZA 2ND	Engineering	100-42401-3135	14.27

Council Approval List

Payment Dates: 12/5/2023 - 12/18/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1972	RFC ENGINEERING, INC.	4611 - 139TH LANE LOT LINE	Engineering	100-42401-3135	53.18
1972	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-42401-3135	246.07
1972	RFC ENGINEERING, INC.	THOROUGHFARE PLAN	Engineering	100-43101-3135	81.12
1972	RFC ENGINEERING, INC.	136TH LANE/LINCOLN STREET	Engineering	100-43101-3135	28.54
1972	RFC ENGINEERING, INC.	1505 - 143RD AVE CULVERT E	Engineering	100-43101-3135	99.90
1972	RFC ENGINEERING, INC.	COMFORT RESORT STORM PI	Engineering	100-43103-3135	54.00
1972	RFC ENGINEERING, INC.	CCWD RULES AMENDMENTS	Engineering	100-43201-3135	130.68
1972	RFC ENGINEERING, INC.	STORMWATER POND INVENT	Engineering	100-43201-3135	596.49
1972	RFC ENGINEERING, INC.	PARK & TREE MAP	Engineering	100-44101-3135	39.20
1972	RFC ENGINEERING, INC.	NPDES	Engineering	230-43201-3135	240.11
1972	RFC ENGINEERING, INC.	STREET LIGHT ASSESSMENTS	Other professional services	232-43701-3190	28.54
1972	RFC ENGINEERING, INC.	FIRE #3	Capital assets	420-42201-5110	845.53
1972	RFC ENGINEERING, INC.	COUNTY DITCH #58 CROSS CU	Engineering	431-43301-3135	4,168.33
1972	RFC ENGINEERING, INC.	181ST, CONCORD - HWY 65	Engineering	431-43301-3135	274.63
1972	RFC ENGINEERING, INC.	BUNKER, JEFFERSON - 65	Engineering	431-43301-3135	28.54
1972	RFC ENGINEERING, INC.	162ND LANE/BUCHANAN STR	Engineering	431-43301-3135	756.42
1972	RFC ENGINEERING, INC.	2024 REHAB	Engineering	431-43301-3135	2,433.56
1972	RFC ENGINEERING, INC.	BUNKER LAKE BOULEVARD IN	Engineering	431-43301-3135	685.05
1972	RFC ENGINEERING, INC.	HIDDEN FOREST EAST WETLA	Engineering	440-44103-3135	42.82
1972	RFC ENGINEERING, INC.	CROSSTOWN ROLLING ACRES	Engineering	890-90001-3135	13.07
1972	RFC ENGINEERING, INC.	COON CREEK COMMERCIAL P	Engineering	890-90001-3135	54.00
1972	RFC ENGINEERING, INC.	FLAMINGO TERRACE	Engineering	890-90001-3135	17.53
1972	RFC ENGINEERING, INC.	TWIN TOWN DEMOLITION - L	Engineering	890-90001-3135	25.00
1972	RFC ENGINEERING, INC.	2152 SOUTH HAM LAKE DRIV	Engineering	890-90001-3135	25.00
1972	RFC ENGINEERING, INC.	CATCHERS CREEK	Engineering	890-90001-3135	54.00
1972	RFC ENGINEERING, INC.	CONSTANCE BOULEVARD TER	Engineering	890-90001-3135	54.00
1972	RFC ENGINEERING, INC.	TWIN TOWN DEMOLITION	Engineering	890-90001-3135	1,882.66
1972	RFC ENGINEERING, INC.	CREEKSIDE FARMS	Engineering	890-90001-3135	54.00
1972	RFC ENGINEERING, INC.	CROSSTOWN ROLLING ACRES	Engineering	890-90001-3135	172.82
1972	RFC ENGINEERING, INC.	EVERGREEN ESTATES	Engineering	890-90001-3135	96.82
1972	RFC ENGINEERING, INC.	WHITETAIL CROSSING 2ND	Engineering	890-90001-3135	253.81
1972	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 3RD	Engineering	890-90001-3135	87.04
1972	RFC ENGINEERING, INC.	HENTGES ADDITION	Engineering	890-90001-3135	72.10
1972	RFC ENGINEERING, INC.	TOBY'S TRAILS	Engineering	890-90001-3135	67.15
1972	RFC ENGINEERING, INC.	ENTSMINGER FARMS LOT LIN	Engineering	890-90001-3135	103.20
1972	RFC ENGINEERING, INC.	HOLIDAY	Engineering	890-90001-3135	791.04
1972	RFC ENGINEERING, INC.	ENCHANTED ESTATES 3RD	Engineering	890-90001-3135	54.00
1972	RFC ENGINEERING, INC.	DOSEDEL RESIDENTIAL DEVEL	Engineering	890-90001-3135	1,088.43
1972	RFC ENGINEERING, INC.	PACKARD STREET VACATION -	Engineering	890-90001-3135	99.91
1972	RFC ENGINEERING, INC.	SUITE LIVING	Engineering	890-90001-3135	2,045.74
1972	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 4TH	Engineering	890-90001-3135	2,956.69
1972	RFC ENGINEERING, INC.	RADISSON SUNSET ESTATES	Engineering	890-90001-3135	54.00
1972	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering	100-43501-3135	4,919.15
1972	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	749.39
1975	STAR TRIBUNE MEDIA COMPA	BUDGET	Legal notices/publications/bid	100-41101-3950	30.02
1975	STAR TRIBUNE MEDIA COMPA	1016 BUNKER REZONE	Engineering	890-90001-3135	55.30
1976	WRUCK SEWER & PORTABLE	NOV LION'S PLAYGROUND RE	Rentals-other	100-44101-3390	45.50
1976	WRUCK SEWER & PORTABLE	NOV HAM LAKE BOAT LANDIN	Rentals-other	100-44101-3390	45.50
65662	ALL AMERICAN TITILE COMPA	17255 HWY 65 LAND PURCHA	Capital assets	262-46101-5110	177,063.25
65664	ABDO FINANCIAL SOLUTIONS	NOV FINANCIAL SERVICES	Other professional services	100-41401-3190	13,096.14
65665	ACCESS	NOV SHREDDING	Waste management & recycli	231-43601-3630	137.20
65666	ACE SOLID WASTE INC	DEC ORGANICS	Waste management & recycli	231-43601-3630	363.14
65667	BERGLUND, BAUMGARTNER,	HUSNICK DANGEROUS DOG	Attorney	100-41101-3110	346.08
65667	BERGLUND, BAUMGARTNER,	WILLOWS OF HAM LAKE	Attorney	100-41101-3110	82.40
65667	BERGLUND, BAUMGARTNER,	ARNOLD LAND	Attorney	100-41101-3110	1,153.60
65667	BERGLUND, BAUMGARTNER,	COUNCIL MEETINGS	Attorney	100-41101-3110	618.48
65667	BERGLUND, BAUMGARTNER,	PROSECUTIONS	Attorney	100-41501-3110	6,695.00
65667	BERGLUND, BAUMGARTNER,	BREW PUB - AGRICULTURAL U	Attorney	100-41601-3110	444.96
65667	BERGLUND, BAUMGARTNER,	VIOLATIONS	Attorney	100-42401-3110	181.28
65667	BERGLUND, BAUMGARTNER,	JAKE'S AUTO MALL	Attorney	262-46101-3110	313.12

Council Approval List

Payment Dates: 12/5/2023 - 12/18/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65667	BERGLUND, BAUMGARTNER,	FIRE STATION #3	Capital assets	420-42201-5110	49.44
65667	BERGLUND, BAUMGARTNER,	COUNTY DITCH #58 CULVERT	Attorney	431-43301-3110	181.28
65667	BERGLUND, BAUMGARTNER,	CROSSTOWN ROLLING ACRES	Attorney	890-90001-3110	370.80
65667	BERGLUND, BAUMGARTNER,	BUNKER LAKE MOTORS CUP	Attorney	890-90001-3110	197.76
65667	BERGLUND, BAUMGARTNER,	HIDDEN FOREST EAST 4TH	Attorney	890-90001-3110	1,071.20
65667	BERGLUND, BAUMGARTNER,	EVERGREEN ESTATES	Attorney	890-90001-3110	74.16
65667	BERGLUND, BAUMGARTNER,	HENTGES WETLAND BANK	Attorney	890-90001-3110	82.40
65667	BERGLUND, BAUMGARTNER,	WHITETAIL CROSSING 2ND	Attorney	890-90001-3110	412.00
65667	BERGLUND, BAUMGARTNER,	UNLIMITED CONCRETE	Attorney	890-90001-3110	131.84
65667	BERGLUND, BAUMGARTNER,	HOLIDAY	Attorney	890-90001-3110	774.56
65669	BUREAU OF CRIMINAL APPRE	CHILD BACKGROUND CHECKS	Personnel testing & recruitme	100-42201-3150	30.00
65670	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	218.93
65670	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	90.21
65670	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	247.75
65670	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	419.26
65670	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	274.69
65670	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	67.58
65670	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	117.88
65671	CITY OF ST PAUL	8 TN ASPHALT MIX	Street repair & maintenance s	100-43101-2330	690.40
65672	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	34.38
65672	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	739.56
65672	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	219.00
65672	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	15.76
65672	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	195.87
65672	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	347.81
65672	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	68.25
65672	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	702.04
65672	CONNEXUS ENERGY	LEXINGTON/CROSSTOWN SIG	Electricity	100-43401-3610	49.79
65672	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	61.45
65672	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	64.96
65672	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	69.83
65672	CONNEXUS ENERGY	CROSSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	70.18
65672	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	70.87
65672	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	75.93
65672	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	23.13
65672	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	109.35
65672	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	266.51
65672	CONNEXUS ENERGY	HAM LAKE WELL	Electricity	100-44101-3610	94.39
65672	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	14.50
65672	CONNEXUS ENERGY	HAM LAKE AERATOR	Electricity	100-44101-3610	14.50
65672	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	118.38
65672	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	35.77
65672	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	22.77
65672	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	14.50
65672	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	14.50
65672	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	60.91
65672	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	96.69
65672	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	398.23
65672	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	4,479.87
65674	DEHN OIL CO	200.6 GAL GASOLINE	Fuel	100-43101-2230	490.65
65674	DEHN OIL CO	200.3 GAL DIESEL	Fuel	100-43101-2230	574.96
65675	EBERT COMPANIES	FIRE #3	Capital assets	420-42201-5110	222,504.58
65676	FIRE SAFETY USA INC	PRESSURE WATER FIRE EXTIN	Small tools	100-42201-2410	535.00
65677	HAM LAKE FIRE RELIEF ASSN	2023 FIRE STATE AID	Fire relief state aid	100-48101-4135	113,905.84
65677	HAM LAKE FIRE RELIEF ASSN	2023 FIRE STATE AID (SUPPLE	Fire relief state aid	100-48101-4135	20,712.99
65678	HEALTH PARTNERS INC	NOV EAP	Other professional services	100-41701-3190	25.50
65679	JARED A. NORDLUND	2023 WEBSITE MAINTENANC	Internet & website	100-41301-3220	1,200.00
65680	LINCOLN NATIONAL LIFE INSU	JAN '24 LT DISABILITY	Prepaid expense	100-15501	740.85
65680	LINCOLN NATIONAL LIFE INSU	ST DISABILITY	Prepaid expense	100-15501	864.27
65681	MARTIN-MCALLISTER	PSA - CK	Personnel testing & recruitme	100-42201-3150	625.00

Council Approval List

Payment Dates: 12/5/2023 - 12/18/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65682	MENARDS-BLAINE	LED BULBS	Building repair & maintenanc	100-41702-2310	23.97
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41201-2510	39.36
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41301-2510	31.76
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41401-2510	55.93
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-41601-2510	24.16
65683	METRO - INET	PHONES	Phones/radios/pagers	100-41701-3210	124.00
65683	METRO - INET	IT SUPPORT	Computer & software support	100-41707-3120	5,370.00
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-42201-2510	55.93
65683	METRO - INET	PHONES	Phones/radios/pagers	100-42201-3210	52.00
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-42401-2510	95.30
65683	METRO - INET	PHONES	Phones/radios/pagers	100-42401-3210	62.00
65683	METRO - INET	LASERFICHE & ADOBE LICENS	Software licenses & upgrades	100-43101-2510	21.56
65683	METRO - INET	PHONES	Phones/radios/pagers	100-43101-3210	31.00
65683	METRO - INET	PHONES	Phones/radios/pagers	100-44101-3210	10.00
65683	METRO - INET	PHONES	Phones/radios/pagers	100-44201-3210	41.00
65684	MINNESOTA EQUIPMENT	#53 NUTS	Equipment parts & supplies	100-44101-2320	25.32
65684	MINNESOTA EQUIPMENT	#53 V-BELT	Equipment parts & supplies	100-44101-2320	-84.58
65684	MINNESOTA EQUIPMENT	#53 GUIDES	Equipment parts & supplies	100-44101-2320	23.67
65684	MINNESOTA EQUIPMENT	#73 PIN	Equipment parts & supplies	100-44101-2320	6.36
65684	MINNESOTA EQUIPMENT	CHAIN SAW MUFFLER & EXHA	Equipment parts & supplies	100-43101-2320	70.73
65684	MINNESOTA EQUIPMENT	BAR & CHAIN OIL	Equipment parts & supplies	100-43101-2320	16.99
65685	MINNESOTA OCCUPATIONAL	SCREENINGS/VACCINES JB, JF,	Personnel testing & recruitme	100-42201-3150	2,782.00
65686	MN DEPT OF LABOR & INDUS	FIRE #2 AIR COMP REGISTRATI	Professional licenses & certific	100-42201-3520	10.00
65687	MN DEPT OF LABOR & INDUS	PW AIR COMP REGISTRATION	Professional licenses & certific	100-43101-3520	10.00
65688	MN DEPT OF LABOR & INDUS	FIRE #2 AIR COMP REGISTRATI	Professional licenses & certific	100-42201-3520	10.00
65689	MN DEPT OF LABOR & INDUS	ELEVATOR OPERATOR LICENSE	Dues & subscriptions	100-41701-3920	100.00
65690	MN METRO NORTH TOURISM	OCT LODGING TAX	Convention bureau	263-46101-4120	2,198.69
65691	MN PEIP	JAN '24 HEALTH INSURANCE	Prepaid expense	100-15501	10,162.32
65691	MN PEIP	DEC '23 HEALTH INSURANCE -	Health Insurance	100-21710	748.13
65692	NCPERS GROUP LIFE INSURAN	JAN '24 LIFE	Prepaid expense	100-15501	96.00
65693	NUSS EQUIPMENT GROUP LL	#79 FUEL FILTERS	Vehicle parts & supplies	100-43101-2340	-101.40
65693	NUSS EQUIPMENT GROUP LL	#75 FILTER CAP	Vehicle parts & supplies	100-43101-2340	32.18
65693	NUSS EQUIPMENT GROUP LL	#80 SWITCHES	Vehicle parts & supplies	100-43101-2340	232.41
65694	PLAISTED COMPANIES, INC.	74.36 TN CLASS 5 - 162ND LN	Street supplies	431-43301-2330	1,498.36
65695	PREMIUM WATERS INC	DEC WATER COOLER RENTAL	Equipment rentals	100-41701-3320	14.00
65695	PREMIUM WATERS INC	NOV WATER	Equipment rentals	100-41701-3320	42.30
65696	RECYCLE TECHNOLOGIES INC	12/2 RECYCLE EVENT	Waste management & recycli	231-43601-3630	6,509.60
65697	RICHARD TROY WOLENS	URRWMO MEETINGS (1/3, 3/	Advisory/representative	100-43201-1610	180.00
65697	RICHARD TROY WOLENS	SRWMO MEETINGS (1/5, 2/2,	Advisory/representative	100-43201-1610	180.00
65698	S & S INDUSTRIAL SUPPLY INC	MOUNTING BASES	Operating supplies	100-43101-2290	19.72
65699	SIEGFRIED FAMILY TOOLS INC	WRENCH EXTENDER	Covid 19	100-41701-4153	98.95
65700	THE MPX GROUP	DEC HAM LAKER DELIVERY	Other services and charges	211-41704-3990	225.00
65701	UNLIMITED SUPPLIES INC	MISC SUPPLIES	Operating supplies	100-43101-2290	152.60
65701	UNLIMITED SUPPLIES INC	NUTS, WASHERS, COUPLER,	Operating supplies	100-43101-2290	233.12
65702	WRIGHT-HENNEPIN COOPERA	DEC ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
65702	WRIGHT-HENNEPIN COOPERA	DEC SECURITY MONITORING	Monitoring	100-41702-3145	33.95
65702	WRIGHT-HENNEPIN COOPERA	DEC PW FIRE PANEL MONITO	Monitoring	100-43104-3145	52.95
65703	XCEL ENERGY	FIRE #3 NATURAL GAS	Natural gas	100-42202-3620	150.14
65704	ZARNOTH BRUSH WORKS, INC	#68 GUTTER BROOM	Equipment parts & supplies	100-43101-2320	1,675.00
DFT0002639	MN STATE DEPT OF REVENUE-	NOVEMBER '23 FUEL TAX	Fuel	100-43101-2230	51.30
DFT0002640	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002641	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	2,105.00
DFT0002641	EMPOWER	Roth IRA	Deferred compensation	100-21704	200.00
DFT0002642	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,878.93
DFT0002642	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,815.90
DFT0002642	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	7,663.12
DFT0002643	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,592.98
DFT0002644	PERA	Retirement-Coordinated	PERA	100-21703	7,118.59
DFT0002644	PERA	Retirement-Elected Officials	PERA	100-21703	81.68

Council Approval List

Payment Dates: 12/5/2023 - 12/18/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
DFT0002645	MN DEPARTMENT OF LABOR	3RD QTR SURCHARGE	Surcharge	100-22801	3,948.68
<b>Grand Total:</b>					<b>694,721.33</b>

## Report Summary

### Fund Summary

Fund	Payment Amount
100 - GENERAL	237,113.90
211 - HAM LAKER	225.00
230 - FUTURE DRAINAGE	240.11
231 - RECYCLING	7,009.94
232 - STREET LIGHT	4,508.41
262 - HAM LAKE EDA	179,511.64
263 - LODGING TAX	2,198.69
420 - FIRE EQUIPMENT	223,399.55
431 - REVOLVING STREET	27,179.24
440 - PARK & BEACH LAND	42.82
890 - TRUST FUND	13,292.03
<b>Grand Total:</b>	<b>694,721.33</b>

### Account Summary

Account Number	Account Name	Payment Amount
100-15501	Prepaid expense	11,863.44
100-21701	Federal WH/FICA/MC	15,357.95
100-21702	State W/H	2,592.98
100-21703	PERA	7,200.27
100-21704	Deferred compensation	2,305.00
100-21710	Health Insurance	748.13
100-21712	HSA Account	150.00
100-22801	Surcharge	3,948.68
100-41101-3110	Attorney	2,200.56
100-41101-3135	Engineering	1,644.46
100-41101-3950	Legal notices/publicatio	30.02
100-41102-3135	Engineering	834.64
100-41201-2510	Software licenses & upgr	39.36
100-41201-3960	Mileage	50.30
100-41301-2510	Software licenses & upgr	31.76
100-41301-3220	Internet & website	1,200.00
100-41401-2510	Software licenses & upgr	55.93
100-41401-3190	Other professional servi	13,096.14
100-41501-3110	Attorney	6,695.00
100-41601-2510	Software licenses & upgr	24.16
100-41601-3110	Attorney	444.96
100-41601-3135	Engineering	1,529.12
100-41701-3190	Other professional servi	25.50
100-41701-3210	Phones/radios/pagers	124.00
100-41701-3320	Equipment rentals	56.30
100-41701-3920	Dues & subscriptions	100.00
100-41701-4153	Covid 19	190.90
100-41702-2310	Building repair & mainte	23.97
100-41702-3145	Monitoring	43.95
100-41702-3610	Electricity	773.94
100-41702-3620	Natural gas	218.93
100-41703-3610	Electricity	234.76
100-41707-3120	Computer & software su	5,370.00
100-42201-2290	Operating supplies	199.80
100-42201-2320	Equipment parts & suppl	38.94
100-42201-2410	Small tools	535.00
100-42201-2510	Software licenses & upgr	55.93
100-42201-3135	Engineering	13.07
100-42201-3150	Personnel testing & recr	3,566.84
100-42201-3210	Phones/radios/pagers	52.00
100-42201-3520	Professional licenses & c	20.00
100-42202-3610	Electricity	543.68



## Account Summary

Account Number	Account Name	Payment Amount
100-42202-3620	Natural gas	488.10
100-42302-3610	Electricity	68.25
100-42401-2510	Software licenses & upgr	95.30
100-42401-3110	Attorney	181.28
100-42401-3135	Engineering	313.52
100-42401-3210	Phones/radios/pagers	62.00
100-43101-2210	Clothing & personal prot	329.96
100-43101-2230	Fuel	1,116.91
100-43101-2240	Safety supplies	29.98
100-43101-2290	Operating supplies	449.86
100-43101-2320	Equipment parts & suppl	1,762.72
100-43101-2330	Street repair & mainten	690.40
100-43101-2340	Vehicle parts & supplies	721.91
100-43101-2510	Software licenses & upgr	21.56
100-43101-3135	Engineering	209.56
100-43101-3210	Phones/radios/pagers	31.00
100-43101-3470	Vehicle repair & mainten	1,464.65
100-43101-3520	Professional licenses & c	10.00
100-43103-3135	Engineering	54.00
100-43104-2310	Building repair & mainte	505.75
100-43104-3145	Monitoring	52.95
100-43104-3610	Electricity	702.04
100-43104-3620	Natural gas	419.26
100-43201-1610	Advisory/representative	360.00
100-43201-3135	Engineering	727.17
100-43401-3610	Electricity	862.00
100-43501-3135	Engineering	4,919.15
100-44101-2210	Clothing & personal prot	118.16
100-44101-2320	Equipment parts & suppl	-29.23
100-44101-3135	Engineering	39.20
100-44101-3210	Phones/radios/pagers	10.00
100-44101-3390	Rentals-other	91.00
100-44101-3610	Electricity	277.54
100-44102-3610	Electricity	209.37
100-44102-3620	Natural gas	342.27
100-44201-3210	Phones/radios/pagers	41.00
100-44202-3610	Electricity	398.23
100-44202-3620	Natural gas	117.88
100-48101-4135	Fire relief state aid	134,618.83
211-41704-3990	Other services and charg	225.00
230-43201-3135	Engineering	240.11
231-43601-3630	Waste management & r	7,009.94
232-43701-3190	Other professional servi	28.54
232-43701-3610	Electricity	4,479.87
262-46101-3110	Attorney	313.12
262-46101-5110	Capital assets	179,198.52
263-46101-4120	Convention bureau	2,198.69
420-42201-5110	Capital assets	223,399.55
431-43301-2330	Street supplies	1,498.36
431-43301-3110	Attorney	181.28
431-43301-3135	Engineering	25,499.60
440-44103-3135	Engineering	42.82
890-90001-3110	Attorney	3,114.72
890-90001-3135	Engineering	10,177.31
	<b>Grand Total:</b>	<b>694,721.33</b>

**Project Account Summary**

<b>Project Account Key</b>	<b>Payment Amount</b>
**None**	481,333.63
201102.033-100	28.54
201805-100	54.00
201902.93-100	54.00
201907-100	144.13
202002.048-160	1,498.36
202002.057-100	274.63
202102.053-100	54.00
202103-100	10,260.32
202105-100	427.75
202111-100	2,135.27
202111-130	177,063.25
202205-100	5,409.48
202302.032-100	756.42
202302.038-101	4,349.61
231007001	6,509.60
231009001	363.14
231010001	137.20
MISC-100	<u>3,868.00</u>
<b>Grand Total:</b>	<b>694,721.33</b>



City of Ham Lake, MN

# EFT Payroll Check Register

## Report Summary

Pay Period: 11/26/2023-12/9/2023

Packet: PYPKT01538 - PPE 12/09/23 PAID 12/15/23

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	64	43,142.05
<b>Total</b>	<b>64</b>	<b>43,142.05</b>

Meeting Date: December 18, 2023

**CITY OF HAM LAKE**

***STAFF REPORT***

**To: Mayor and Councilmembers**

**From: John Witkowski, Public Works Superintendent**

**Subject: Hiring Public Works part-time Warming House Attendants**

**Introduction:** I am recommending the hiring of five Public Works part-time warming house attendants.

**Recommendation:** Listed below are the individuals that are being recommended for the Public Works part-time warming house attendant position.

Roger Langerud and Jeremy Simmons will be at a pay rate of \$16.00 per hour as returning employees. Declan Whitney, Thomas Steinmetz and Eric Garcia will be at a pay rate of \$15.00 per hour as new hires.

**Meeting Date: December 18, 2023**

**CITY OF HAM LAKE**

***STAFF REPORT***

**To: Mayor and Councilmembers**

**From: Denise Webster, City Administrator**

**Subject: Request for 10-year extension of Master Development Plan for Deer Haven Hills**

**Introduction:**

Gary Steen is requesting a 10-year extension of the Master Development Plan for Deer Haven Hills. The last extension was approved by the City Council on June 2, 2014 for 10-years. Engineer Collins has reviewed the request and sees no issue with the 10-year extension.

**Recommendation:**

Approval of the 10-year extension of the Master Development Plan for Deer Haven Hills until July 1, 2034.

11-30-2023

City of Ham Lake

Please consider extending the Development Agreement for 2715, Inc (Mary Steer, Developer) + the City of Ham Lake for another ten (10) years beyond the current July 1, 2024 date.

The city engineer has received the proposal.

Thank you.

Mary Steer, President  
2715, Inc.



**AMENDMENT TO DEVELOPMENT AGREEMENT**

**This amendment** is made to the Development Agreement which document is dated October 6, 2000 and was executed by the City of Ham Lake and 2715, Inc., (Gary Steen, Developer) and which document is referred to as the "Agreement" for Deer Haven Hills.

**The Agreement is hereby amended as follows:**

**12. Master Plan and Phasing**

City acknowledges that the plat which is the subject to this agreement is a part of a master plan for development or a larger area, depicted on hereto attached Exhibit A. Developer shall submit remainder of the Master Plan in phases as determined by Developer, each of which shall be separately platted, and each of which phases shall be covered by a separate Development Agreement which will involve additional park dedication fees, street lighting fees, drainage fees and administrative review fees. Developer may submit each phase as an approved Preliminary Plat, for final plat approval, without the need for additional public hearing, provided that the phased plats as submitted are not materially different from the Master Plan. City shall have the exclusive discretion to determine whether or not any modifications to the Master Plan are materially different from the final plat as submitted, taking into account such matters as modifications which affect property outside the plat, pre-emption of any municipal code or ordinance by any other unit of government, and the like, but Developer shall have the right to develop the Master Plan as submitted in regard to density, setbacks and other physical requirements, provided that the final plat(s) are submitted to City no later than **July 1, 2034**.

**In witness whereof, the parties have executed this agreement the date above written.**

**City of Ham Lake**

**Developer: 2715, Inc.**

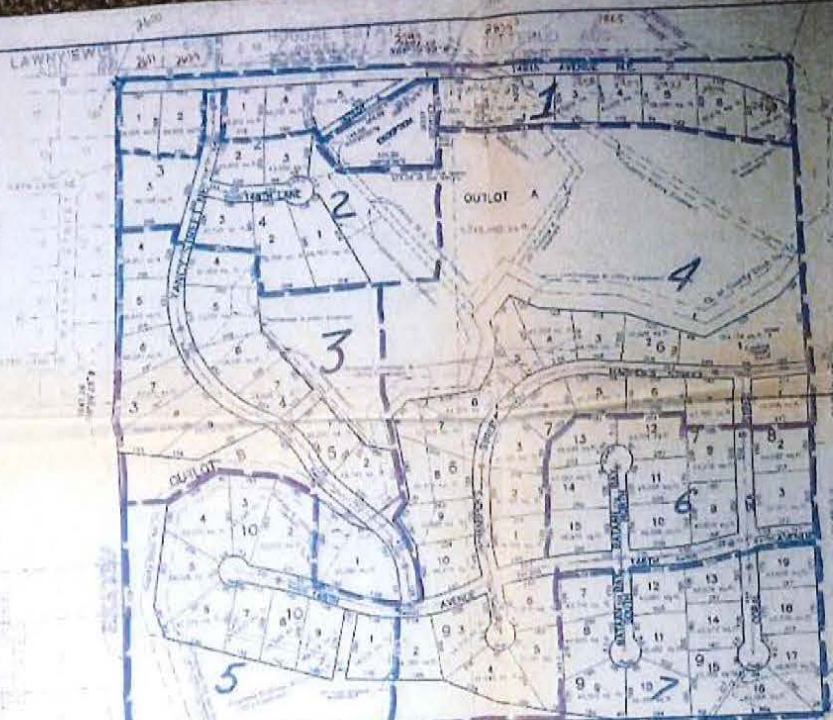
By: \_\_\_\_\_  
Brian Kirkham, Mayor

By: \_\_\_\_\_  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

By: \_\_\_\_\_  
Denise Webster, City Clerk

**Exhibit A: Master Plan for Development**





Master Plan

Master Plan as  
**PRELIMINARY PLAT**  
OF DEER HAVEN HILLS

Owner: Gary & Ann Olson  
3145 NE Bunker Lake Boulevard  
Ham Lake, MN 55324  
Home 755-3380

General Property Description  
197.4 ± of Sec. 27, T2E, R2E  
97.0 ± of 197.4 of Sec. 27, T2E, R2E  
Part of 197.4 of Sec. 27, T2E, R2E

**BOUNDING**

Existing = Conventional Agriculture  
Proposed = Municipal Land Planned Use Development

**LEGEND & NOTES**

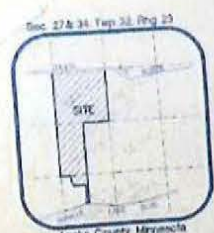
- The Preliminary Grading Plan is complete, consistent with zoning regulations and engineering practices.
- Drainage and utility easements to be provided for all existing lots and proposed lots.

**SITE DATA**

- Total Number of Lots = 20 (Large Lots)
- Single Family Units = 20 (Large Lots)
- Outlot A & B, 400 ± = 132,000 Sq. Ft.
- Outlot C, 400 ± = 132,000 Sq. Ft.
- Total Area = 264,000 Sq. Ft.
- Density = 7.50 Units per Acre
- Minimum Lot Area = 1,000 ± sq. ft.
- Maximum Lot Area = 4,500 ± sq. ft.
- Minimum Lot Width = 30 ft.
- Maximum Lot Width = 100 ft.
- Minimum Setback = 10 ft.
- Maximum Setback = 50 ft.

**SETBACKS**

- Front = 30 feet
- Side = 10 feet
- Rear = 30 feet



Araska County Minnesota  
**VICINITY MAP**

I hereby certify that this survey, plat or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

ERNEST G. RUD  
Date: 11-27-83 Reg. No. 2002

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS



50' SCALE

DATE	REVISION
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat
11/27/83	Final Plat

**EG RUD & SONS, INC.**  
LAND SURVEYORS  
510 LEXINGTON AVE NE  
CIRCLE PINES, MN 55014  
TEL: 621-566-6666 FAX: 621-566-6667



Meeting Date: December 18, 2023



***CITY OF HAM LAKE  
STAFF REPORT***

**To:** Mayor and Councilmembers

**From:** Dawnette Shimek, Deputy City Clerk

**Item/Title/Subject:** Vacation of a portion of a roadway easement located at 2152 South Ham Lake Drive

**Introduction/Discussion:**

The easement as described has no public purpose. Engineer Collins has reviewed the legal description and has no issue with this vacation.

**Recommendation:**

I recommend approval of Resolution scheduling a Public Hearing for January 2, 2024 at 6:01 p.m. to vacate a portion of a roadway easement located at 2152 South Ham Lake Drive.

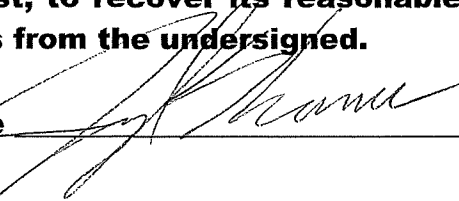
**CITY OF HAM LAKE  
ACKNOWLEDGMENT OF RESPONSIBILITY  
TO REIMBURSE EXPENSES**

The undersigned, Joseph G. Kramer, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Easement Vacation

*Type of Application*

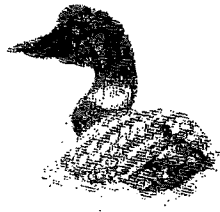
acknowledges that the sum of \$ 200.00, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  Dated 12/1/23

The following statement must be signed if the applicant is not the property owner:

\_\_\_\_\_, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

Property Owner Signature \_\_\_\_\_ Dated \_\_\_\_\_



**NOTICE TO ALL APPLICANTS FOR MUNICIPAL  
PERMITS, LICENSES,  
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.**
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.**
- 3. The information you supply will be public and available to any entity requesting to inspect the information.**

**DATA PRACTICES ADVISORY  
TENNESSEN WARNING**

**REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

**SIGNED BY** \_\_\_\_\_

**COMPANY/TITLE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

12/1/23



# CITY OF HAM LAKE

## REQUEST FOR AN APPEARANCE BEFORE THE CITY COUNCIL

15544 Central Avenue NE  
Ham Lake, MN 55304  
Phone (763) 434-9555

DATE OF APPLICATION 12/1/23

DEPOSIT \$ 200.<sup>00</sup>  
RECEIPT # 98325

CITY COUNCIL MEETING DATE  
(if all required information is received) \_\_\_\_\_

APPLICANT'S NAME Joseph G. Krower

MAILING ADDRESS 2152 S. Ham Lake Dr.

CITY, STATE, ZIP CODE Ham Lake, MN. 55304


PHONE (daytime) 612-998-4492

EMAIL ADDRESS Krowersconst@Comcast.net

### SITE ADDRESS / NATURE OR REQUEST:

(Please attach any relevant information including maps, diagrams, and a descriptive narrative of the request)\*\*

2152 S. Ham Lake Dr. / Easement Vacation

  
\_\_\_\_\_  
Signature of Applicant

12/1/23  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Current Property Owner

\_\_\_\_\_  
Date

(If the applicant is not the property owner - the property owner signature is required)

**\*\*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required information has been submitted to the City of Ham Lake.**

RESOLUTION NO. 23-XX

WHEREAS, the Ham Lake City Council, on its own motion, wishes to consider the vacation of the following described land in the City of Ham Lake, pursuant to Minnesota Statutes Chapter 412.851:

EASEMENT VACATION DESCRIPTION

All of the 66-foot-wide non-exclusive easement for public road and utility purposes, as described in Quit Claim Deed, dated August 12, 1991, filed August 13, 1991, as Doc. No. 945059, said easement has a centerline described as follows:

Commencing at the Northeast corner of Government Lot 1, Section 21, Township 32, Range 23, Anoka County, Minnesota; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the East line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet to the point of beginning of centerline to be described; thence northeasterly a distance of 407.47 feet to a point on the North line of said Government Lot 1, distant 690.00 feet westerly of the Northeast corner thereof and said centerline there terminating.

The sidelines of said easement are to be prolonged or shortened to terminate at said North line of Government Lot 1.

EXCEPT that part embraced within the circumference of a circle having a radius of 60.00 feet, the center of said circle is described as follows:

Commencing at the Northeast corner of said Government Lot 1; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the east line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet; thence southwesterly at right angles, a distance of 4.25 feet to the center of said circle.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the City Clerk is directed to post in a conspicuous place in the City Hall between the dates of December 19, 2023 and January 2, 2024 and to cause publication of a NOTICE OF PUBLIC HEARING, a copy of which is attached to this Resolution, for a public hearing to be held on January 2, 2024, with publication to occur in the Star Tribune on December 21, 2023.

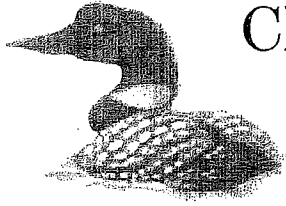
Adopted by the City Council of the City of Ham Lake this 18th day of December, 2023.

---

Brian Kirkham, Mayor

---

Denise Webster, City Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on February 6, 2023 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

### EASEMENT VACATION DESCRIPTION

All of the 66-foot-wide non-exclusive easement for public road and utility purposes, as described in Quit Claim Deed, dated August 12, 1991, filed August 13, 1991, as Doc. No. 945059, said easement has a centerline described as follows:

Commencing at the Northeast corner of Government Lot 1, Section 21, Township 32, Range 23, Anoka County, Minnesota; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the East line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet to the point of beginning of centerline to be described; thence northeasterly a distance of 407.47 feet to a point on the North line of said Government Lot 1, distant 690.00 feet westerly of the Northeast corner thereof and said centerline there terminating.

The sidelines of said easement are to be prolonged or shortened to terminate at said North line of Government Lot 1.

EXCEPT that part embraced within the circumference of a circle having a radius of 60.00 feet, the center of said circle is described as follows:

Commencing at the Northeast corner of said Government Lot 1; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the east line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet; thence southwesterly at right angles, a distance of 4.25 feet to the center of said circle.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: December 21, 2023

\_\_\_\_\_  
Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of December 19, 2023 and January 2, 2024.

Published in the Star Tribune on December 21, 2023

# CERTIFICATE OF SURVEY

~for~ JOSEPH KRAMER  
 ~of~ 2152 SOUTH HAM LAKE DRIVE  
 HAM LAKE, MN  
**PARCEL DESCRIPTION**

That part of Government Lot 1, Section 21, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Beginning at the northeast corner of said Government Lot 1; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the east line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 812.23 feet to the northeasterly line of the recorded plat of SOUTH SHORE, Anoka County, Minnesota, as monumented; thence North 42 degrees 02 minutes 23 seconds West, along said northeasterly line, a distance of 375 feet, more or less, to the southeasterly shore line of Ham Lake, thence northeasterly along said southeasterly shore line to the north line of said Government Lot 1; thence South 88 degrees 35 minutes 13 seconds East, along said north line, a distance of 1242 feet, more or less, to the point of beginning.

Reserving and together with a non-exclusive easement for public road and utility purposes over that part of said Government Lot 1, lying within the circumference of a circle having a radius of 60.00 feet, the center of said circle is described as follows:

Commencing at the northeast corner of said Government Lot 1; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the east line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet to a point to be hereinafter known as Point A; thence southwesterly at right angles, a distance of 4.25 feet to the center of said circle.

EXCEPT that part of said circle which lies within the recorded plat of SOUTH SHORE, Anoka County, Minnesota, as monumented.

AND Reserving a 66 foot wide non-exclusive easement for public road and utility purposes over part of said Government Lot 1, the centerline of said easement is described as follows:

Beginning at said Point A; thence northeasterly, a distance of 407.47 feet to a point on the north line of said Government Lot 1, distant 690.00 feet westerly of the northeast corner thereof, and said line there terminating.

The side lines of said easement shall be lengthened or shortened to terminate at the northerly edge of the above described 60.00 foot radius circle and at the north line of said Government Lot 1.

Subject to other easement, if any.

## NOTES

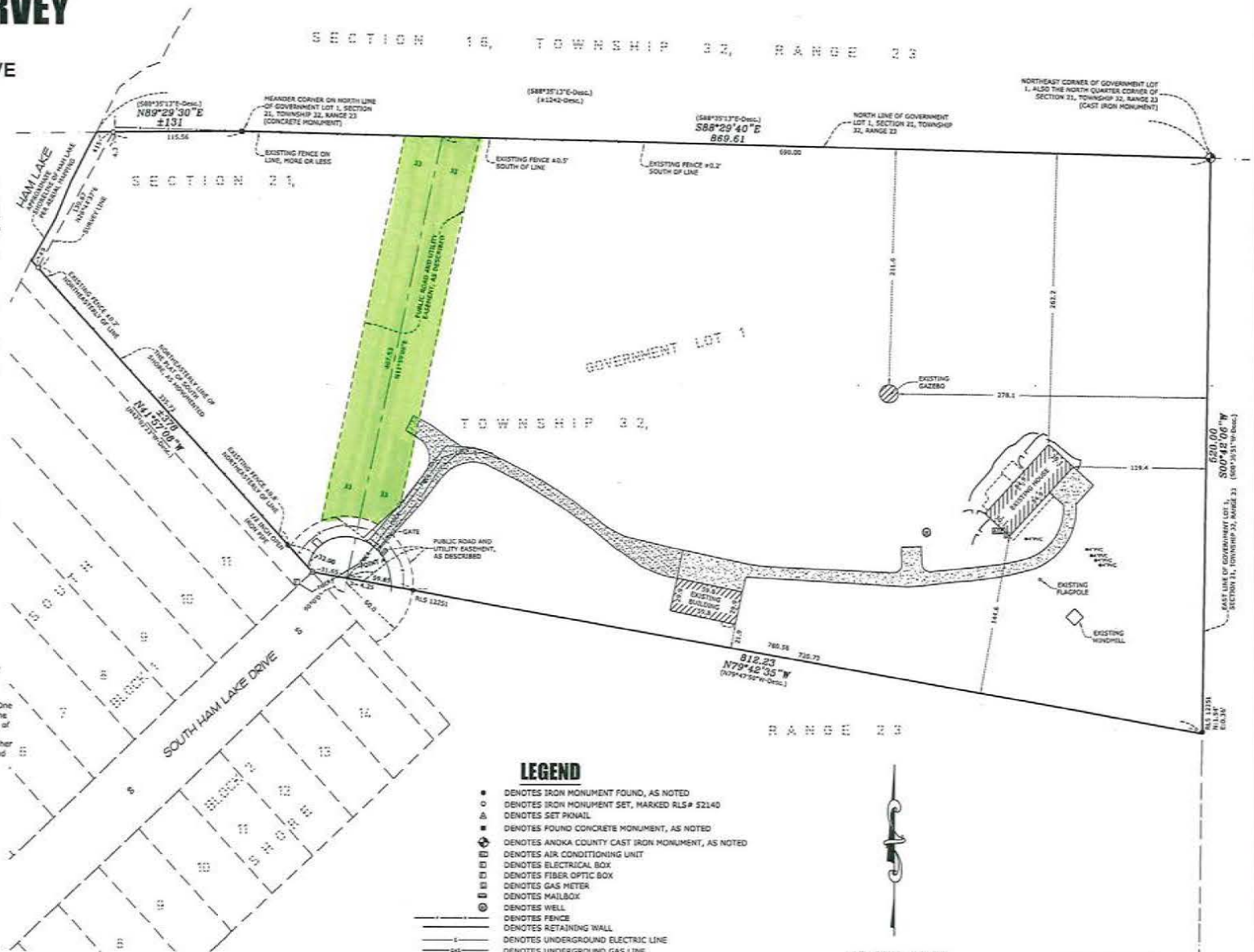
- Field survey was completed by E.G. Rud and Sons, Inc. on 11/07/23.
- Bearings shown are on the Anoka County Coordinate System.
- Parcel ID Number: 21-32-23-21-0024.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Existing underground utilities shown hereon were located pursuant to Gopher State One Call Ticket No. 233051734, dated 11/07/2023. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Daniel S. Hanson*  
 DANIEL S. HANSON  
 Date: 12/1/2023 License No. 52140

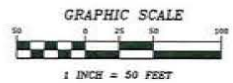
**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

R:\PROJ\2023\21-32-23-21-0024\21-32-23-21-0024-001\PLAN.DWG



## LEGEND

- DENOTES IRON MONUMENT FOUND, AS NOTED
- DENOTES IRON MONUMENT SET, MARKED RLS# 52140
- △ DENOTES SET PINNAIL
- ⊙ DENOTES FOUND CONCRETE MONUMENT, AS NOTED
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT, AS NOTED
- ⊞ DENOTES AIR CONDITIONING UNIT
- ⊟ DENOTES ELECTRICAL BOX
- ⊠ DENOTES FIBER OPTIC BOX
- ⊡ DENOTES GAS METER
- ⊢ DENOTES MAILBOX
- ⊣ DENOTES WELL
- ⊤ DENOTES FENCE
- ⊥ DENOTES RETAINING WALL
- ⊦ DENOTES UNDERGROUND ELECTRIC LINE
- ⊧ DENOTES UNDERGROUND GAS LINE
- ⊨ DENOTES UNDERGROUND FIBER OPTIC LINE
- ⊩ DENOTES BITUMINOUS SURFACE
- ⊪ DENOTES CONCRETE SURFACE
- ⊫ DENOTES GRAVEL SURFACE

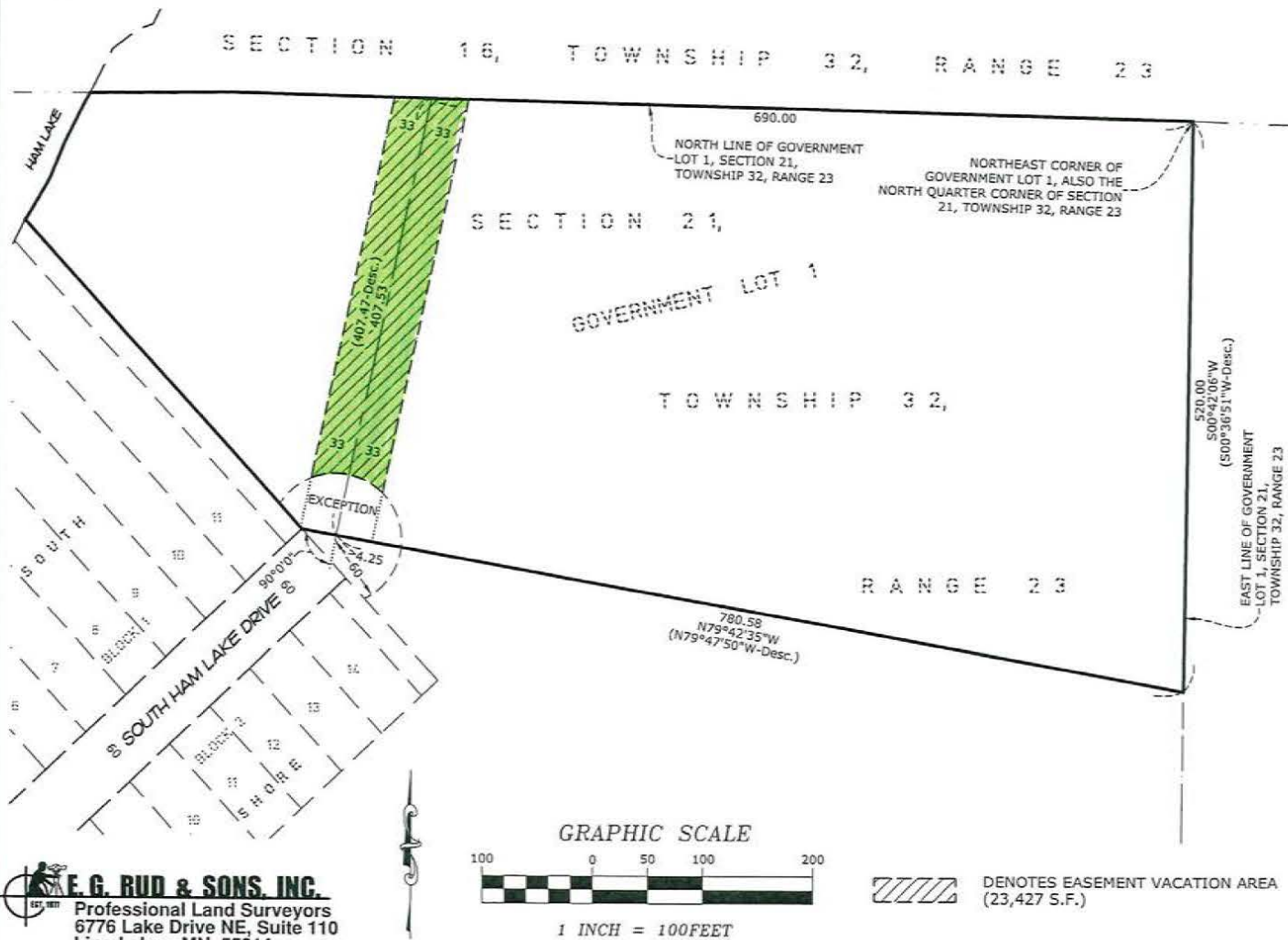


DRAWN BY: ECH	JOB NO: 231143BS	DATE: 11/06/2023	
CHECK BY: DSH	FIELD CREW: BH/BS		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY



# EASEMENT VACATION SKETCH AND DESCRIPTION

~of~ PUBLIC ROAD AND UTILITY EASEMENT



## EASEMENT VACATION DESCRIPTION

All of the 66 foot wide non-exclusive easement for public road and utility purposes, as described in Quit Claim Deed, dated August 12, 1991, filed August 13, 1991, as Doc. No. 945059, said easement has a centerline described as follows:

Commencing at the Northeast corner of Government Lot 1, Section 21, Township 32, Range 23, Anoka County, Minnesota; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the East line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet to the point of beginning of centerline to be described; thence northeasterly a distance of 407.47 feet to a point on the North line of said Government Lot 1, distant 690.00 feet westerly of the Northeast corner thereof and said centerline there terminating.

The sidelines of said easement are to be prolonged or shortened to terminate at said North line of Government Lot 1.

EXCEPT that part embraced within the circumference of a circle having a radius of 60.00 feet, the center of said circle is described as follows:

Commencing at the Northeast corner of said Government Lot 1; thence South 00 degrees 36 minutes 51 seconds West, assumed bearing, along the east line of said Government Lot 1, a distance of 520.00 feet; thence North 79 degrees 47 minutes 50 seconds West, a distance of 780.58 feet; thence southwesterly at right angles, a distance of 4.25 feet to the center of said circle.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

  
DANIEL S. HANSON

Date: 12/1/2023 License No. 52140

 **E.G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701  
www.egrud.com

Meeting Date: December 18, 2023

**CITY OF HAM LAKE**

**STAFF REPORT**

**To: Mayor and Councilmembers**

**From: Mike Raczkowski, Fire Chief**

**Item/Title/Subject: New Firefighter Candidates**

**Introduction/Discussion:**

The Fire Department began the selection and hiring process for volunteer/paid-on-call firefighters when Fire Station #3 construction start in late spring of 2023. We received roughly 20 applications.

The process to this point has included employment application, written test, interview, and physical ability test. The process for each of them once the conditional offer is accepted includes; a background check, driving record check, drug screening, psychological review, and a medical assessment. After successfully completing the conditions listed the candidates will begin Firefighter I, II, hazmat, and Emergency Medical Responder class. Training will start this spring and they will be ready to respond as firefighters around the middle of the year.

I would like to extend a conditional offer to ten potential candidates. This would bring the total number of firefighters to 46 if all candidates pass the probationary period.

**Recommendation:**

Extending a conditional offer to employment as a paid-on-call firefighter to the following:

Gutierrez, Mackenzie  
Featherstone, Justin  
Olson, Joshua  
Swanson, Travis  
Pearson, Ben  
Boyne, Jeff  
Landwehr, Jeff  
Frane, Zachary  
VanStee, Mary  
Sack, Brandon

**Meeting Date: December 18, 2023**

**CITY OF HAM LAKE**  
STAFF REPORT

**To:** Mayor and Councilmembers

**From:** Mike Raczkowski, Fire Chief

**Item/ Title/ Subject:** Firefighter's Approval as Regular Members

**Introduction/ Discussion:**

The three firefighters listed below have served as probationary members since joining the department in January 2023. As of January 1, 2024, they will have met the requirements listed in the department's regulations for removal of their probationary status. The regulations also require approval of the Ham Lake City Council for acceptance as regular members.

**Recommendation:**


I recommend the acceptance of the following firefighters effective January 1, 2024 as regular members of the Ham Lake Fire Department.

Firefighter David Erickson, Firefighter Alicia Featherstone, and Firefighter Jason Miller

## Memorandum

Date: December 14, 2023

To: Mayor and Councilmembers

From: David A. Krugler, City Engineer 

Subject: 152<sup>nd</sup> Avenue cross-culverts in Brook View Meadows

---

**Introduction:**

The twin 72-inch corrugated metal cross-culverts installing in 1994 with the Brook View Meadows subdivision have been separating and need to be replaced. The road has been closed due to concerns for public safety.

**Discussion:**

The Road Committee meeting was informed at the July 26<sup>th</sup> meeting of the failure of the culverts on 152<sup>nd</sup> Avenue at the County Ditch #58 crossing. Survey of the replacement area were ordered prior to the meeting and discussion of the road status. The roadway was closed to all traffic in October.

With the crossing over County Ditch #58 closed, service vehicles such as waste management and snow removal must back up on the access of approximately 1,350 feet on the East side of the closure from McKay Drive. A temporary cul-de-sac is proposed to allow service vehicles to turn around during the culvert replacement project. The area for the proposed temporary cul-de-sac does not have any property owner improvements or trees to be. The temporary cul-de-sac will impact 0.05 acres of wetlands. This is considered a no-loss temporary wetland impact and will not require replacement. The Contractor that is awarded the culvert replacement project will be required to remove the temporary cul-de-sac at completion of the project and restore the disturbed area. Access on the West side of County Ditch #58 is 324 feet from Jackson Street and will not require a temporary cul-de-sac. Attached is the proposed area to be obtained. Of the 0.12 acres to be obtained, 0.07 is wetland and 0.05 acres is upland.

**Recommendations:**

Direct the City Attorney to negotiate acquisition of a temporary roadway easement east of County Ditch #58 from Lot 1 Block 2 of Brook View Meadows to, with an expiration date of December 31, 2024.

# PLAN SYMBOLS

	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	EXISTING RIGHT-OF-WAY LINE
	PROPOSED RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	EXISTING DITCH
	PROPOSED DITCH
	EXISTING COUNTY CONSTRUCTION LIMITS
	PROPOSED COUNTY CONSTRUCTION LIMITS
	EXISTING INTERMEDIATE INDEX CONTOURS
	PROPOSED INTERMEDIATE INDEX CONTOURS
	SILT FENCE
	WETLAND BOUNDARY
	EXISTING STORM
	TEMPORARY CUL-DE-SAC



Drawing name: L:\Projects\2302\038\2302-038-000 site.dwg | ICMP | U3


Sheet Title  
TEMP CUL-DE-SAC

Date  
12/12/23

Scale  
1:40


Project  
152ND AVE CULVERT REPLACEMENT  
2302.038

13635 Johnson Street  
Horn Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



**RFC**  
Engineering, Inc.  
Consulting Engineers

## Memorandum

Date: December 14, 2023  
To: Mayor and Councilmembers  
From: David A. Krugler, City Engineer   
Subject: 152<sup>nd</sup> Avenue cross-culverts in Brook View Meadows

---

### **Introduction:**

The twin 72-inch corrugated metal cross-culverts installing in 1994 with the Brook View Meadows subdivision have been separating and need to be replaced. The road has been subsequently closed due to concerns for public safety.

### **Discussion:**

The Road Committee meeting was informed at the July 26<sup>th</sup> meeting of the failure of the culverts on 152<sup>nd</sup> Avenue at the County Ditch #58 crossing. Survey of the replacement area was ordered prior to the meeting and discussion of the road status. The roadway was closed to all traffic in October.

MnDOT considers the existing twin culverts as a bridge due to the total open span. State Transportation funds are available for costs associated with bridge replacement, rehabilitation, or removal. The cost estimate is attached. Project related costs outside of the culverts such as roadway approach work, bridge removal, erosion control, engineering and right-of-way acquisition have limited eligibility for State Transportation funding. State transportation funding can reimburse up to 100 percent of the replacement costs of culverts.

### **Recommendations:**

Approve the attached Resolution to apply for State Transportation funding.

**CONSTRUCTION COST ESTIMATE**  
**152nd AVENUE-DITCH #58 CROSSING**  
**12/14/2023**

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST QTY	UNIT PRICE	TOTAL
2021.501	MOBILIZATION	LUMP SUM	1	\$50,000.00	\$50,000.00
2101.505	CLEARING	ACRE	0.1	\$8,703.90	\$870.39
2101.505	GRUBBING	ACRE	0.1	\$4,201.90	\$420.19
2104.503	REMOVE PIPE CULVERTS	LIN FT	173	\$29.00	\$5,017.00
2104.505	REMOVE BITUMINOUS PAVEMENT	SQ YD	175	\$2.50	\$437.50
2104.513	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	57	\$5.55	\$316.35
2105.607	TOPSOIL PLACEMENT (CV)	CU YD	766	\$9.50	\$7,277.00
2105.607	COMMON EXCAVATION	CU YD	30.0	\$23.00	\$690.00
2105.607	SELECT GRANULAR BORROW (CV)	CU YD	110	\$30.00	\$3,300.00
2106.507	GRANULAR EMBANKMENT (CV)	CU YD	430	\$15.00	\$6,450.00
2211.501	AGGREGATE BASE CLASS 5	TON	40	\$14.50	\$580.00
2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;C)	TON	11	\$95.00	\$1,045.00
2360.509	TYPE SP 12.5 WEARING COURSE MIXTURE (2;C)	TON	21	\$82.00	\$1,722.00
2412.502	10X6 PRECAST CONCRETE BOX CULVERT END SECTION TYPE 1	EACH	1	\$27,000.00	\$27,000.00
2412.502	10X6 PRECAST CONCRETE BOX CULVERT END SECTION TYPE 3	EACH	1	\$37,500.00	\$37,500.00
2412.503	10X6 PRECAST CONCRETE BOX CULVERT	LIN FT	87	\$1,990.00	\$173,130.00
2511.501	RANDOM RIPRAP CLASS III	CU YD	30.0	\$90.00	\$2,700.00
2535.503	BITUMINOUS CURB	LIN FT	110	\$4.00	\$440.00
2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$9,770.20	\$9,770.20
2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$4,403.60	\$4,403.60
2573.501	CULVERT END CONTROLS	EACH	1	\$300.00	\$300.00
2573.502	SILT FENCE, TYPE HEAVY DUTY	LIN FT	140	\$2.20	\$308.00
2573.502	STORM DRAIN INLET PROTECTION	EACH	2	\$180.00	\$360.00
2573.503	FLOTATION SILT CURTAIN TYPE MOVING WATER	LIN FT	50	\$25.00	\$1,250.00
2573.602	EROSION CONTROL	LUMP SUM	1	\$10,000.00	\$10,000.00
2575.504	ROLLED EROSION PREVENTION CATEGORY 20	SQ YD	591	\$5.00	\$2,955.00
2575.605	TURF ESTABLISHMENT	ACRE	0.2	\$6,938.50	\$1,387.70
	TOTAL ESTIMATED CONSTRUCTION COST				\$349,629.93
	PROJECT DEVELOPMENT, CONST ENGINEERING, AND INSPECTION (20%)				\$69,925.99
	TOTAL PROJECT COST				\$419,555.92

**RESOLUTION 23-XX**  
**FOR CREATING A BRIDGE REPLACEMENT PRIORITY LIST**

WHEREAS, the City of Ham Lake has reviewed the pertinent data on bridges requiring replacement, rehabilitation, or removal, supplied by local citizenry and local units of government, (and the regional development commission, or the metropolitan council where applicable); and

WHEREAS, the City of Ham Lake has identified those bridges that are high priority and that require replacement, rehabilitation, or removal within the next five years;

NOW, THEREFORE BE IT RESOLVED that the following bridges are high priorities for replacement, major rehabilitation, or removal, and the City of Ham Lake intends to replace, rehabilitate, or remove these bridges as soon as possible; and

<b>Old Bridge Number</b>	<b>Road Number and Name</b>	<b>Crossing</b>	<b>LPI</b>	<b>Total Project Cost</b>	<b>Township or State Bridge Funds Requested</b>	<b>Federal Funds</b>	<b>Local or State Aid Funds</b>	<b>Proposed Construction Year</b>
<b>R0951</b>	152 <sup>nd</sup> Avenue	County Ditch 58		\$419,556	\$399,556		\$20,000	2024

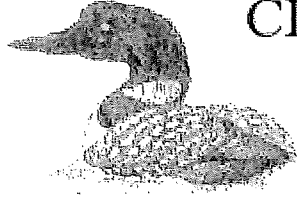
BE IT FURTHER RESOLVED that The City of Ham Lake does hereby request authorization to replace, rehabilitate, or remove such bridges.

Adopted by the City Council of the City of Ham Lake this 18th day of December, 2023.

\_\_\_\_\_  
 Brian Kirkham, Mayor

\_\_\_\_\_  
 Denise Webster, City Clerk





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, DECEMBER 11, 2023

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** November 13, 2023

**PUBLIC HEARINGS:**

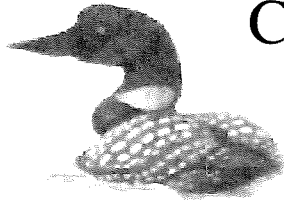
**6:01 p.m.** Nicholas Holm of Twin Town Demolition requesting a Conditional Use Permit to operate a demolition for renovation construction service contractor business at 16648 Polk Street NE

**NEW BUSINESS:**

1. Nicholas Holm of Twin Town Demolition requesting Commercial Site Plan approval to construct a 4,608 square foot office/warehouse building at 16648 Polk Street NE. PID# 08-32-23-33-0013

**COMMISSION BUSINESS:**

1. City Council Update



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, DECEMBER 11, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, December 11, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Commissioners Brian Pogalz, Kyle Lejonvarn, Dave Ringler, Jeff Entsminger, Erin Dixson and David Ross

**MEMBERS ABSENT:** Commissioner Jonathan Fisher,

**OTHERS PRESENT:** City Engineer Dave Krugler, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

**APPROVAL OF MINUTES:**

**Motion by Ross, seconded by Dixson, to approve the minutes of the November 13, 2023 Planning Commission meeting as written. All present in favor, motion carried.**

**PUBLIC HEARING:**

Nicholas Holm of Twin Town Demolition requesting a Conditional Use Permit to operate a demolition for renovation construction service contractor business at 16648 Polk Street NE

Mr. Nicholas Holm was present. Mr. Holm stated Twin Town Demolition has been in operation for just over four years. Mr. Holm stated the business has been growing at a rapid pace so it is time to construct a building of his own. Mr. Holm stated several of his employees live north of the metro area but work in the metro area so relocating the business to Ham Lake makes sense. Mr. Holm stated the company is a selective demolition for renovation business primarily doing commercial construction work. Mr. Holm stated the majority of projects are for large, private and public entities such as schools, hospitals and municipal buildings. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the site plan presented shows a 4,608 square foot building on a 7.2-acre parcel. Engineer Krugler stated the plans indicate the area behind the building will have a gravel surface. Engineer Krugler stated equipment such as fork lifts, end loaders and other construction equipment, that is not typically driven on city streets, would be permitted on the gravel surface but delivery, or other passenger

vehicles, would not be allowed on the gravel surface. Engineer Krugler stated the landscaping plan appears to be acceptable but the Planning Commission will need to determine if it is adequate. Engineer Krugler stated the building has a maximum occupancy of sixteen; the site plan shows twelve parking spaces with proof of parking shown for four additional parking spaces northwest of the building. Commissioner Lejonvarn asked if the area would need to be paved if the four additional parking spaces were needed. Engineer Krugler stated Building Official Jones will require the area to be paved if additional parking spaces are needed in the future.

Commissioner Entsminger arrived at 6:05 p.m.

**Chair Pogalz opened the public hearing at 6:06 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:06 p.m.**

Commissioner Dixon completed the inspection; a copy which is on file. Commissioner Dixon stated the site is currently a vacant lot with a building pad. Commissioner Dixon stated the screening, which is proposed to be conifer trees shown on the landscaping plan, appears to be adequate once the trees have some time to grow. Commissioner Lejonvarn asked what type of fencing will be constructed. Commissioner Dixon stated the screening will be from conifer trees. There was discussion about staggering the trees to ensure they grow to be intermingled. Chair Pogalz asked Mr. Holm about outside storage needs. Mr. Holm stated, if allowed, the only outside storage will be company vehicles and construction equipment, when he acquires the equipment. Mr. Holm stated he currently has two F650 box trucks, two F550 trucks and an F250 truck and a flatbed trailer. Mr. Holm stated he intends to store the larger trucks inside of the building. Mr. Holm stated he does not have any materials to store at the site. Chair Pogalz asked Building and Zoning Official Jones to comment on screening requirements for outside storage. Building and Zoning Official Jones stated screening is required due to residentially zoned property being adjacent to the parcel and due to outdoor storage of vehicles. Building and Zoning Official Jones stated that screening requirements for commercial districts vary in City Code; the Planning Commission will need to determine if the proposed screening is adequate and suitable for this project. Commissioner Lejonvarn asked Mr. Holm if he planned to acquire an excavator in the future. Mr. Holm stated he does plan to purchase an excavator in the future. Commissioner Lejonvarn stated fencing that is at least 10-feet high should be constructed if that happens to meet the screening requirements of City Code but also for security. Chair Pogalz asked Mr. Holm to confirm there will be no outside storage at this time. Mr. Holm stated that was correct. There was discussion about the type of fencing materials that would be required when Mr. Holm constructs a fence. **Motion by Dixon, seconded by Ross, to recommend approval of Nicholas Holm's request for a Conditional Use Permit to operate a demolition for renovation construction service contractor business at 16648 Polk Street NE subject to surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point, shall be surfaced with asphalt or concrete to specifications established by the City's Engineer per Article 11-1851, all parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the City's Engineer per Articles 9-**

**220.1.a, all outside storage is to be on a Class V surface screened by code compliant screening of conifer trees as presented on the landscaping plan with a height of at least five feet to provide an intermingled screen of eight feet within five years to conceal storage from outside view, maintaining conifer trees meaning if a tree needs to be replaced, the replacement tree's height shall be the same height, or average tree height, of the majority of the trees providing screening at the time of replacement, constructing a code compliant fence to conceal storage from outside view when additional equipment is acquired and stored outdoors, operating hours of 7:01 am to 10:00 pm Monday through Friday, storage of refuse containers must comply with Article 9-220.1.f, meeting all the requirements noted in the City Engineer's memorandum dated December 6, 2023 and Building Official's staff report dated December 11, 2023 and meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, December 18, 2023 agenda.***

**NEW BUSINESS:**

Nicholas Holm of Twin Town Demolition requesting Commercial Site Plan approval to construct a 4,608 square foot office/warehouse building at 16648 Polk Street NE. PID# 08-32-23-33-0013

Chair Pogalz stated this request is also from Mr. Holm. There was no additional discussion. **Motion by Dixson, seconded by Pogalz, to recommend approval of Nicholas Holm's request for commercial site plan approval to construct a 4,608 square foot office/warehouse building at 16648 Polk Street NE, subject to the following conditions: all surfaces used for customer or employee parking, and for storage of over the road vehicles, shall be asphalt or concrete, to specifications established and approved by the City Engineer, if additional parking spaces are needed, as shown on the site plan, the sidewalk and parking area are to be hard surfaced, exterior finish of the building meeting CD-2 building standards, meeting the requirements of the City Engineer and Building Official and meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, December 18, 2023 agenda.***

**COMMISSION BUSINESS:**

City Council Update

Chair Pogalz stated the City Council concurred with the Planning Commission's recommendations to approve the sketch plan for a development located at 2506 Swedish Drive NE presented by Jeff Stalberger of MN Development, LLC. A planning commissioner will not be present at the December 18, 2023 City Council meeting.

**ADJOURNMENT:**

**Motion by Dixson, seconded by Lejonvarn, to adjourn the Planning Commission meeting at 6:20 p.m. All present in favor, motion carried.**

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Jennifer Bohr  
Building and Zoning Clerk

**CITY OF HAM LAKE, MINNESOTA  
RESOLUTION NO. 23-XX**

**APPROVAL OF CONDITIONAL USE PERMIT  
16648 POLK STREET NE**

**WHEREAS**, Twin Town Demolition filed an application dated November 21, 2023, Receipt #98250, requesting a Conditional Use Permit to operate Twin Town Demolition, a demolition for renovation construction service contractor business on property located at 16648 Polk Street NE. The subject property is legally described as follows:

PID# 08-32-23-33-0013

LOT 5, BLOCK 3, CREEKSIDE FARMS

**WHEREAS**, the Property is located in the Commercial Development II (CD-2) Zoning District; and

**WHEREAS**, CD-2 Zoning Districts are located adjacent to the CD-1 Zoning Districts, and constitute a second tier of commercial activities along the Trunk Highway 65 corridor. CD-2 Zoning Districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the Trunk Highway 65 roadway than the CD-1 Zoning Districts; and

**WHEREAS**, the intended use of the Property is for the operation of a demolition for renovation construction service contractor business; and

**WHEREAS**, under Section 9-220.3 (c) of the Ham Lake City Code, concrete masonry construction service contracting is a conditional use in CD-2 Zoning Districts; and

**WHEREAS**, pursuant to Section 9-310.2 of the Ham Lake City Code, the Ham Lake Planning Commission reviewed the conditional use application and held a public hearing at their regular meeting on December 11, 2023, and recommended approval of the Conditional Use Permit with conditions;

**WHEREAS**, the Ham Lake Planning Commissions meeting minutes and materials from its December 11, 2023 meeting shall be used to support the Ham Lake City Council's findings of fact.

**NOW, THEREFORE, BE IT RESOLVED** that the Ham Lake City Council hereby approves the Conditional Use Permit for the property located at 16648 Polk Street NE subject to the conditions and approval as recommended by the Planning Commission to wit:

1. That all surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point, shall be surfaced with asphalt or concrete to specifications established by the City's Engineer per Article 11-1851.

2. That all parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the City's Engineer per Articles 9-220.1.a.
3. That all outside storage is to be on a Class V surface screened by code compliant screening of conifer trees with a height of at least five feet to provide an intermingled screen of eight feet within five years as presented on the landscaping plan to conceal storage from outside view, maintaining conifer trees meaning if a tree needs to be replaced, the replacement tree's height shall be the same height, or average tree height, of the majority of the trees providing screening at the time of replacement.
4. That constructing a code compliant fence to conceal storage from outside view when additional equipment is acquired and stored outdoors.
5. That operating hours of 7:01 am to 10:00 pm., Monday through Friday
6. That storage of refuse containers complying with Article 9-220.1.f.
7. That the applicant and business meeting all the requirements noted in the City Engineer's memorandum dated December 6, 2023 and Building Official's staff report dated December 11, 2023 and meeting all City, County and State requirements.

**FURTHERMORE**, the Ham Lake City Council hereby approves the Conditional Use Permit for 11648 Polk Street subject to the following condition:

1. Written receipt by the City, and approval by the City Attorney, of acknowledgement and approval of the Conditional Use Permit by the owner of the property located at 16648 Polk Street NE.
2. Compliance with all applicable Ham Lake City Code requirements.

Adopted by the Ham Lake City Council this the 18<sup>th</sup> day of December, 2023.

ATTEST:

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Denise Webster, City Clerk

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Brian Kirkham, Mayor



# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 11/21/2023

Date of Receipt 11-21-23  
Receipt # 98250

### Meeting Appearance Dates:

Planning Commission 12-11-23 City Council \_\_\_\_\_

### Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Twin Town Demolition

Address/Location of property: 16648 Polk Street NE HAM LAKE

Legal Description of property: Lot 5, Block 3, Creekside Farms

PIN # 08-32-23-33-0013 Current Zoning CD-2 Proposed Zoning CD-2

Notes: \_\_\_\_\_

Applicant's Name: Nicholas Holm

Business Name: Twin Town Demolition

Address 13385 207 TH AVE NW

City Elk River State MN Zip Code 55330

Phone \_\_\_\_\_ Cell Phone 612-267-0461 Fax \_\_\_\_\_

Email address wick@twin town Demolition .com

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE Nicholas Holm DATE 11/21/2023

**- FOR STAFF USE ONLY -**

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT  YES  NO



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

NOTICE OF PUBLIC HEARING  
CITY OF HAM LAKE  
COUNTY OF ANOKA  
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a Public Hearing shall be held before the Ham Lake Planning Commission on Monday, December 11, 2023 at 6:01 p.m. at the Ham Lake City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Nicholas Holm, requesting a Conditional Use Permit to operate Twin Town Demolition, a demolition for renovation construction service contractor business, at 16648 Polk Street NE, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

LOT 5, BLOCK 3 CREEKSIDE FARMS

At such hearing both written and oral comments will be heard.

DATED: December 1, 2023

Jennifer Bohr  
Building and Zoning Clerk  
City of Ham Lake



## TTD HQ

Twin town demolition is a selective demolition for renovation contractor. We currently have approximately 30 employees. 5 are office and approximately 25 field staff. TTD works on a variety of public and private selective demolition projects all over the state every year. Averaging around 4 million in revenue.

We intend to use the new building as our base of operations. We plan to store tools and equipment at the new headquarters for mobilization of jobs by our shop employee. We have a few large box trucks that we use to support the field and many small pieces of demolition equipment that will be stored in the warehouse space. All our field staff report directly to the jobsite with the exception of the occasional employee picking up a truck to mobilize.


We don't typically have visitors and the majority of our traffic would come from our office staff mobilizing and demobilizing jobs. Our PM's and CM are typically in and out looking at projects out for bid and checking on occasion an ongoing demo project. Lastly our typical hours of operation are 7am- 5pm Monday- Friday

We hope to make Ham Lake our home to for many years and appreciate your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Nicholas Hahn". The signature is fluid and cursive, with the first name "Nicholas" written in a larger, more prominent script than the last name "Hahn".

## Memorandum

Date: December 6, 2023  
To: Planning Commissioners  
From: David A. Krugler, City Engineer   
Subject: Twin Town Demolition

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### **Introduction:**

The proposed 4,608 square-foot Twin Town Demolition building is located on the 7.21-acre Lot 5, Block 3, Creekside Farms parcel. The parcel is zoned Commercial Development Tier 2 (CD-2). A 500 scale aerial photo, a 1,000-scale zoning map and 400-scale half section maps are attached.

### **Discussion:**

The Site and Paving Plan, Grading & Erosion Control Plan, Utility Plan, Details, SWPPP and Landscaping Plan and Lighting Plan received December 1<sup>st</sup>, the Storm Sewer Calculations received November 28<sup>th</sup> and the Architectural Plans received November 21<sup>st</sup> address prior review comments.

The drive aisle will be considered a fire access and must follow the following rules of Minnesota Fire Code 503.4 which states:

*Fire apparatus access roads shall not be obstructed in any manner, including by the parking of vehicles*

Minnesota Fire Code 503.2.1 further describes access as follows:

*Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders.*

The plans propose aggregate surface on the sides and rear of the building. Per Article 11-1851 (attached):

*All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's Engineer*

The aggregate surface areas are prohibited from being used by licensed vehicles.

Twin Town Demolition anticipates the maximum occupancy of 12 employees, and 12 parking stalls are shown. Per the Architectural Plans, the building is rated for an maximum occupancy of 16 employees. Proof of parking for four additional stalls, along with a sidewalk, are shown on the Site and Paving Plan to the rear of the building for future development for compliance with the Minnesota Building Code. Utilization of any of the rear parking stalls will require sidewalk construction and paving.

Landscaping in commercially zoned areas is to be per Article 11-1800 of City Code (attached). The attached Landscape Plan shows proposed tree screening to the north, south and west of the proposed building. Per the attached zoning map, the parcel to the southwest is zoned Rural Single Family Residential (R-A). Per Article 11-1853 (A) (attached):

*Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years*

The Landscape Plan also shows seven proposed trees to be planted along Polk Street. Per Article 11-1853(B) of the City code, decorative trees shall be planted along the right of way lines of adjacent public roadways. 11-1860 allows for case-by-case evaluation for landscape approval and “strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan”. A determination needs to be made as to whether the proposed landscaping is adequate where adjacent to R-A zoning and to Polk Street right-of-way or if additional screening is required.

Twin Town Demolition plans were conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their November 13<sup>th</sup> meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence.

**Recommendation:**

It is recommended that the Twin Town Demolition plans be recommended for approval, including the determination if the proposed screening is adequate.

**Meeting Date: December 11, 2023**

**CITY OF HAM LAKE**  
**STAFF REPORT**

**To: Members of the Planning Commission**

**From: Mark Jones, Building and Zoning Official**

**Subject: Twin Town Demolition requesting Site Plan Approval to build a 4,608 square foot office/warehouse building and a Conditional Use Permit to operate a demolition for renovation construction service contractor business at 16648 Polk Street NE**

**Introduction/Discussion:**

Twin Town Demolition, a selective interior demolition for renovation business, is owned by Mr. Nicholas Holm. Mr. Holm is requesting site plan approval, and approval to operate under a Conditional Use Permit, at 16648 Polk Street NE. The business currently has 30 employees, 5 of which work out of the office and 25 that primarily work off-site. Twin Town Demolition's regular hours of operation are 7:00 am to 5:00 pm Monday through Friday. Mr. Holm has stated the majority of the company's commercial vehicles are taken home by employees. A few box trucks, a pickup and trailer and possibly a skid steer would be stored on-site. When speaking with Mr. Holm, he has stated he hopes to expand the business in the future and purchase some excavators. City Code requires all outside storage to be screened. Article 9-220.1(2)(bb), Standards Common to All Mercantile Districts, Permitted Outside Storage, Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel. Aesthetically Screened Outside Storage is storage defined as inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Per Article 9-220.1(1)(jj) and 9-220.1(2)(gg), Screened Outside Storage, could be a semi-opaque barrier of vegetation that substantially conceals the storage from outside view which is permitted if a condition of approval of any site plan, Conditional Use Permit, on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures. The landscape plan for Twin Town Demolition indicates screening will be provided by spruce trees on the north, west and south sides of the property. In the past, other material and/or vegetation, other than masonry or brick, has been allowed for screening in the CD-1 and CD-2 zoning districts. The Planning Commission will need to determine if the proposed planting of spruce trees should be allowed for screening outside storage and adequately provides

screening to abutting residential properties. R-M, Manufactured Home zoning to the north and R-A, Rural Residential Single Family zoning to the west.

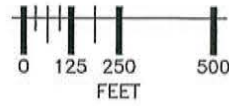
**Recommendation:**

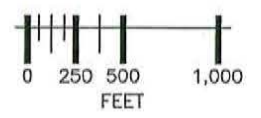
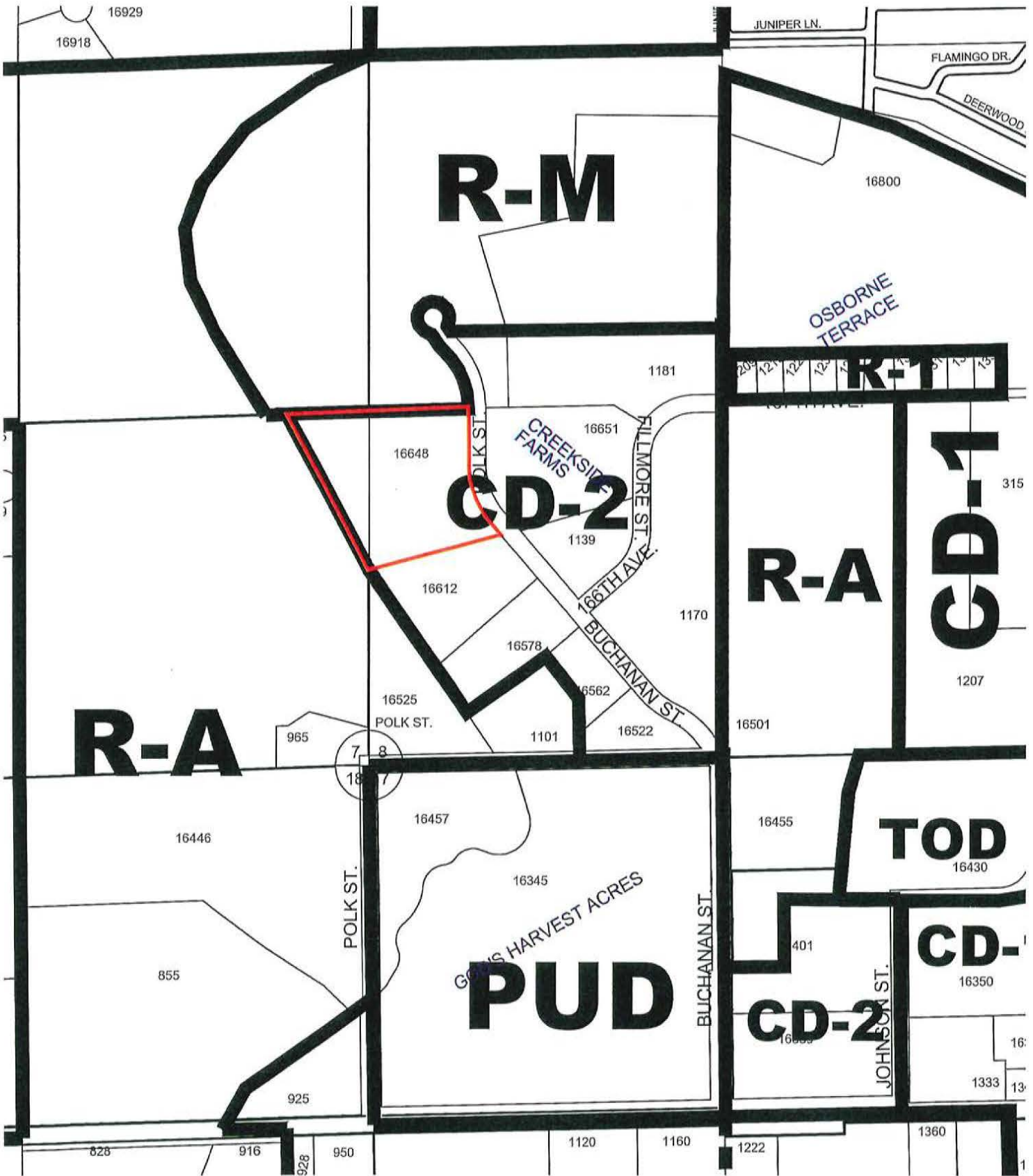
I recommend approval of the Conditional Use Permit with the following conditions:

1. The surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point, shall be surfaced with asphalt or concrete, to specifications established by the City's Engineer per Article 11-1851; all parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the City's Engineer per Article 9-220.1.a.
2. All outside storage is to be on a Class V surface screened by a code compliant fence that is at least eight-feet high to conceal storage from outside view. If planting of conifers trees for screening shall be allowed, the conifers must be of sufficient size to provide an intermingled screen of eight feet within five years to conceal storage from outside view. Conifer trees are to be maintained, meaning if a tree needs to be replaced, the replacement tree's height shall be the same height, or average tree height, of the majority of the trees providing screening at the time of replacement.
3. Hours of operation are to be between 7:01 am and 10:00 pm
4. Complying with all City and State Codes if any vehicles are stored inside of the building.
5. Storage of refuse containers must comply with Article 9-220.1.f.

I recommend approval of the site plan with the following conditions:

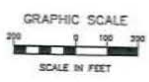
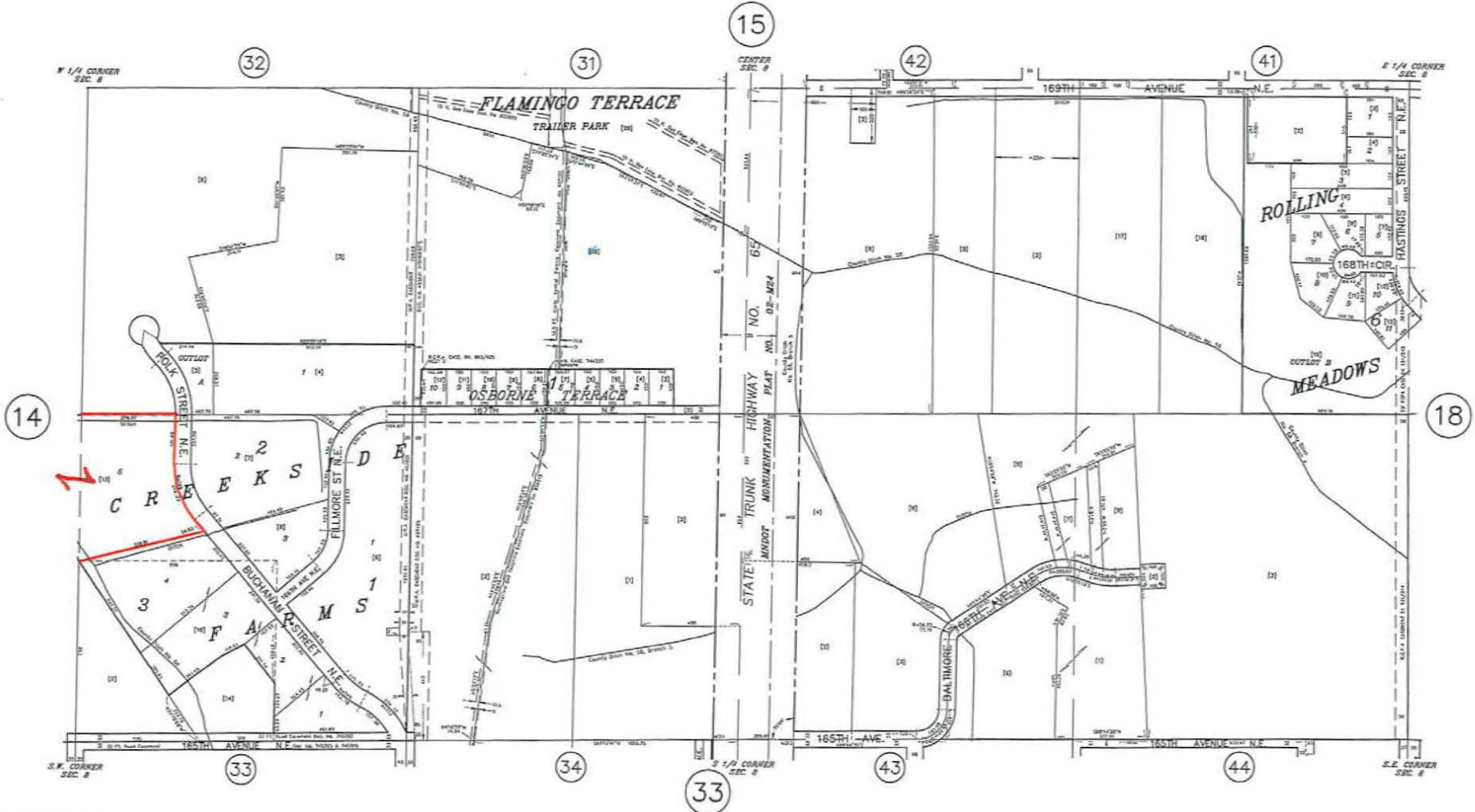
1. All surfaces used for customer and employee parking, and for storage of over the road vehicles, shall be asphalt or concrete, to specifications established and approved by the City Engineer.
2. The exterior finish of the building must meet CD-2 building standards.





# S 1/2 SECTION 8, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY  
SURVEYOR'S OFFICE  
ROOM 224  
2100 3RD AVENUE  
ANOKA, MN 55303  
(763) 324-3200

QUARTER QUARTER INDEX

22	21	20	19
23	24	23	22
32	31	30	29
33	34	33	32

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township	Range	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]  
EXAMPLE OF PIN NUMBER: 68-32-23-43-000

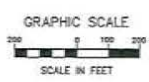
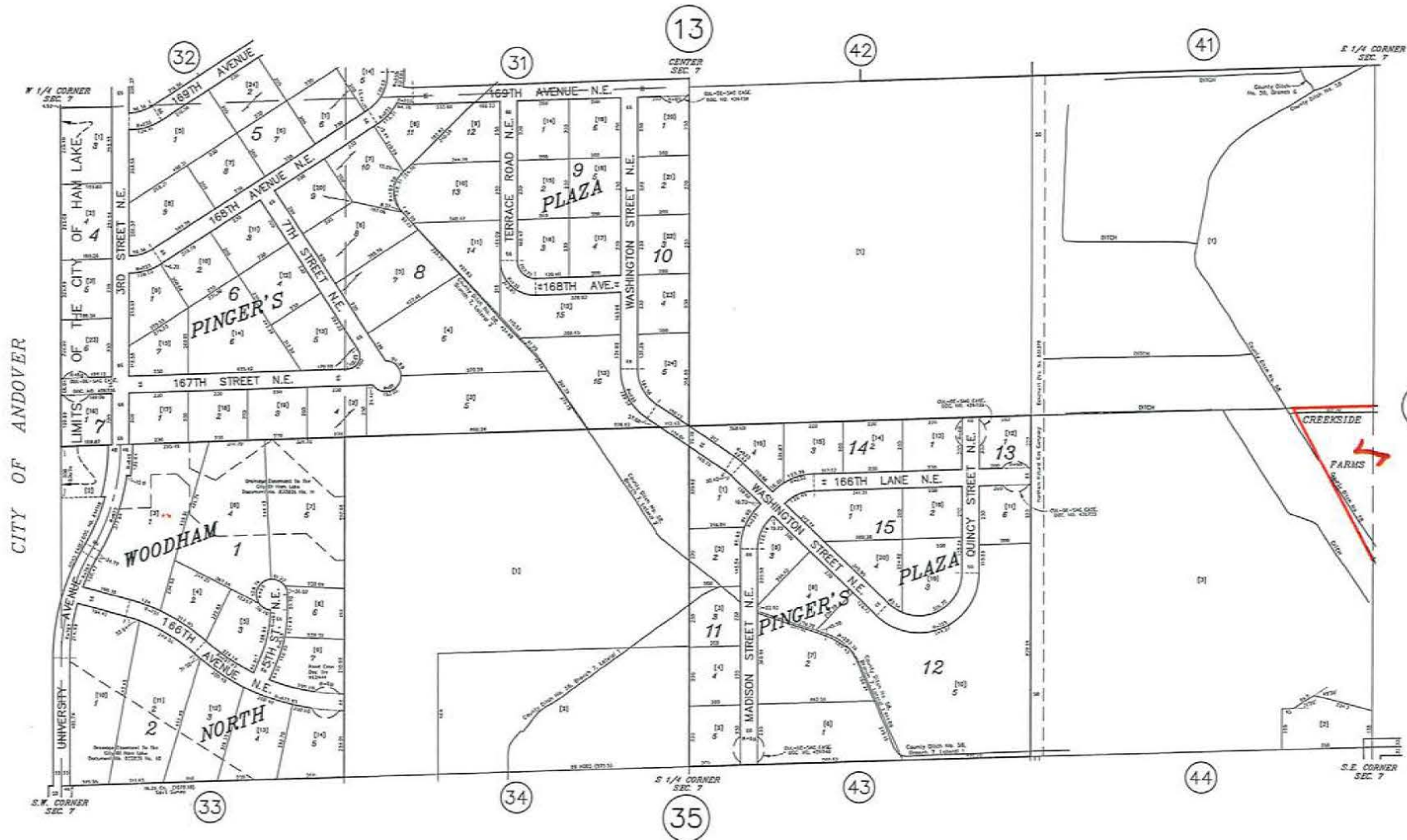
THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

Last Revised: September 28, 2023  
05/28/2023 11:24:49 AM, Date Printed



# S 1/2 SECTION 7, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY  
SURVEYOR'S OFFICE  
ROOM 224  
2100 3RD AVENUE  
ANOKA, MN 55303  
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

Section Township Range Quarter Specific  
Number Number Number Quarter Parcel  
XX XX XX XX XXXX

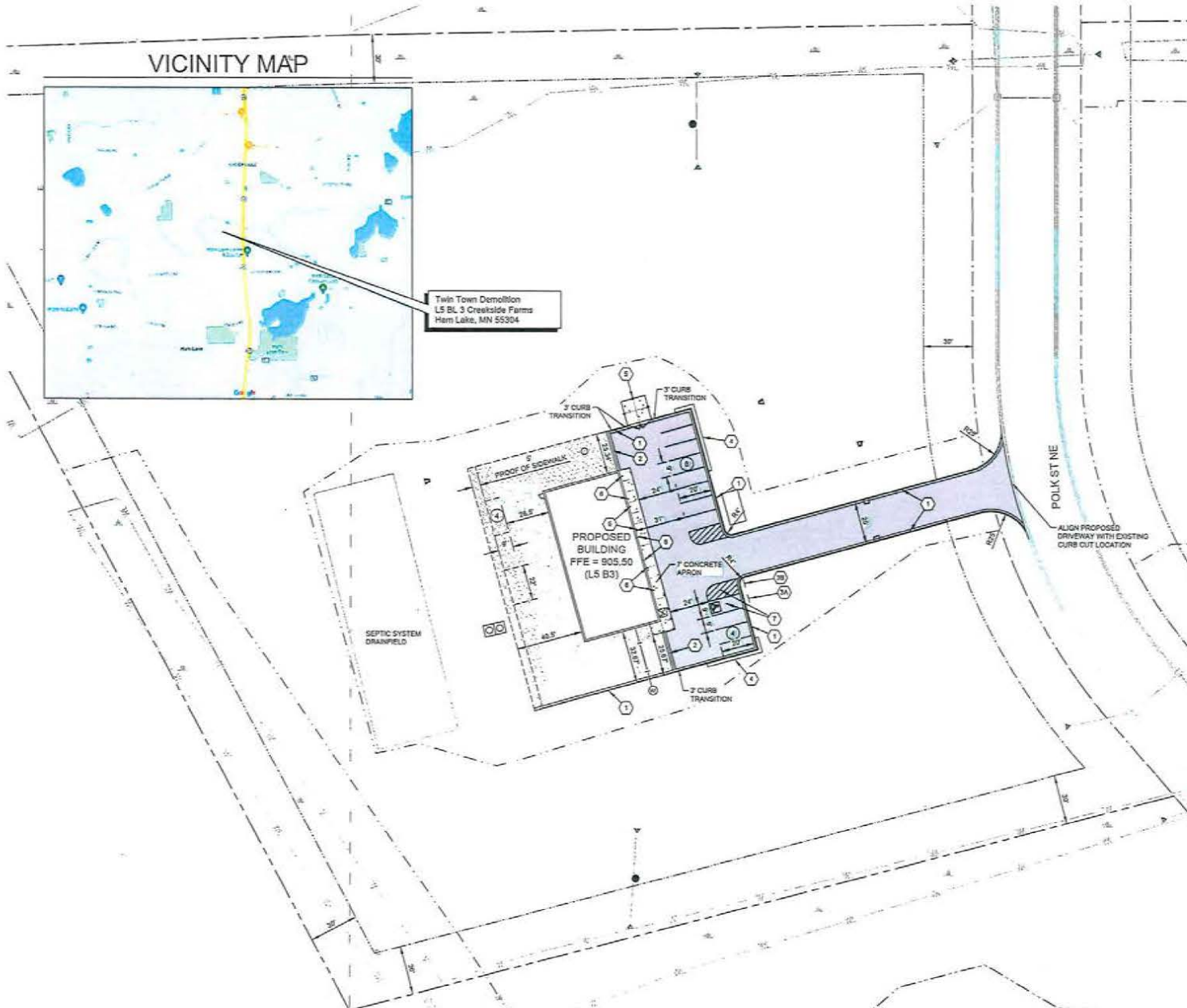
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EXAMPLE OF PIN NUMBER: 07-32-23-43-0007

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

VICINITY MAP



Twin Town Demolition  
15 BL 3 Creekside Farms  
Ham Lake, MN 55304



SYMBOL LEGEND

- NEW BITUMINOUS PAVEMENT  
SEE DETAIL 1/0400
- NEW CONCRETE PAVEMENT  
SEE DETAIL 2/0400
- NEW GRAVEL  
SEE DETAIL 5/0400
- NEW STOOP  
SEE ARCHITECTURAL/STRUCTURAL

NOTE: THE CONCRETE JOINTS ARE SHOWN ONLY FOR GENERAL REFERENCE TO SIGNIFY CONCRETE PAVEMENT. ACTUAL JOINTS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS.

GENERAL

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- PROPOSED CATCH BASIN
- PROPOSED WELL
- PROPOSED SEPTIC TANK
- HOLDING TANK
- APRONES

KEY NOTES

- 1 NEW 8812 CONCRETE CURB, SEE DETAIL 3/0400
- 2 NEW FLUSH CURB, SEE DETAIL 4/0400
- 3 NEW PARKING SIGN AND POST, SEE DETAIL 6/0400  
A ADA PARKING  
B ADA ACCESSIBLE
- 4 NEW RETAINING WALL, SEE DETAIL 7/0401
- 5 NEW 12' x 12' DUMPSTER ENCLOSURE, SEE ARCH
- 6 NEW CONCRETE BOLLARD, COORDINATE LOCATIONS WITH GARAGE DOOR OPENING. SEE DETAIL 8/0401
- 7 MAXIMUM 2% GRADE IN ACCESSIBLE PARKING AREA

SITE INFORMATION:

SITE ZONING: CO-2	
BUILDING AREA	4,628 SF
1ST FLOOR	843 SF
MEZZANINE	
PAVEMENT/LOT'S AREA:	22,767 SF
PROPERTY AREA	314,032 SF
PROPOSED IMPERVIOUS AREA	26,622 SF
MAX. ALLOWABLE IMPERVIOUS	26,612 SF

"MAXIMUM ALLOWABLE IMPERVIOUS WAS DETERMINED FROM THE CREEKSIDE FARMS DEVELOPMENT PROJECT (COWD 21-023). EACH STORMWATER POND IN THE DEVELOPMENT WAS DESIGNED TO ACCOMMODATE A MAXIMUM AREA OF IMPERVIOUS FROM EACH LOT. AS LONG AS THE PROPOSED IMPERVIOUS FROM LOT DOES NOT EXCEED THE MAXIMUM ALLOWABLE, ADDITIONAL ONSITE STORMWATER TREATMENT IS NOT REQUIRED.

**Larson Engineering, Inc.**  
818 W. St. Germain Street  
Suite 300, St. Cloud, MN 56001  
320.426.9324  
www.larsoneng.com

**TWIN TOWN DEMOLITION**  
13385 207TH AVENUE NW  
ELK RIVER, MN 56530

**TWIN TOWN DEMOLITION**  
**NEW BUILDING**  
LOT 5, BLOCK 3, CREEKSIDE FARMS  
HAM LAKE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

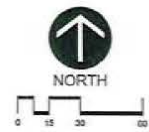
*Thomas J. Heintzel, P.E.*  
Thomas J. Heintzel, P.E.  
Date: 12-01-23 Lic. No.: 26520

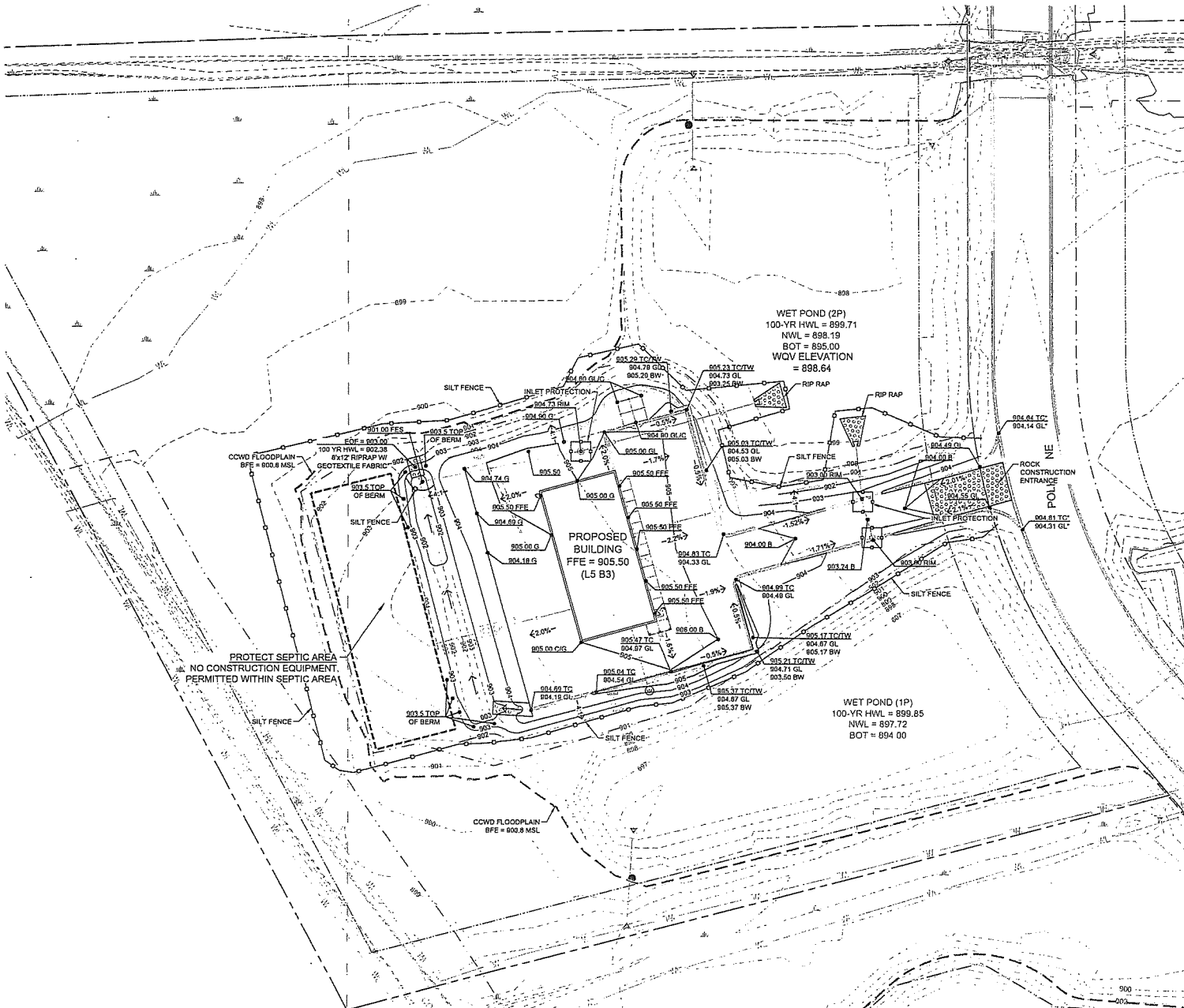
Rev	Date	Description
1	11-16-23	CITY COMMENTS
2	11-28-23	CITY COMMENTS

Project #: 12236155  
Drawn By: HSK  
Checked By: T.JH  
Issue Date: 12-01-23

SITE AND PAVING PLAN

Sheet Title:  
**C100**





**SYMBOL LEGEND**

- 050 --- EXISTING CONTOURS
- 050 --- PROPOSED CONTOURS - MAJOR INTERVAL
- 040 --- PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE
- 2.0% SLOPE
- [Pattern] SILT FENCE
- [Pattern] RIP RAP / ROCK CONST. ENTRANCE  
SEE DETAIL 1/C401 & 4/C401
- [Pattern] EROSION CONTROL BLANKET  
SEE DETAIL 2/C401
- [Symbol] INLET PROTECTION  
SEE DETAIL 3/C401

- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
  - GL - GUTTER LINE
  - GD - GUTTER DIRT
  - B - BITUMINOUS
  - C - CONCRETE
  - G - GRASSLAND
  - EO - EMERGENCY OVERFLOW
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL (F9)
  - (\*) - EXISTING TO BE VERIFIED

**GENERAL**

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- [Symbol] PROPOSED CATCH BASIN
- [Symbol] PROPOSED WELL
- [Symbol] PROPOSED SEPTIC TANK
- [Symbol] HOLDING TANK
- [Symbol] APRONS/FPS

**GRADING NOTES**

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. All disturbed areas to receive 4" of good quality topsoil end seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. See sheets C500 & C501 for SWPPP and erosion control information.
7. Maximum 2% grade in handicap accessible parking and aisle areas.
8. Stabilize soils and stockpiles within 24 hours of inactivity.

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**NEW BUILDING**  
 13385 207TH AVENUE NW  
 ELK RIVER, MN 56330

**TWIN TOWN DEMOLITION**  
**NEW BUILDING**  
 LOT 5, BLOCK 3, CREEKSIDE FARMS  
 HAM LAKE, MN

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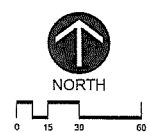
*Thomas J. Herkenhoff*  
 Thomas J. Herkenhoff, P.E.  
 Date: 12.01.23 Lic. No.: 25520

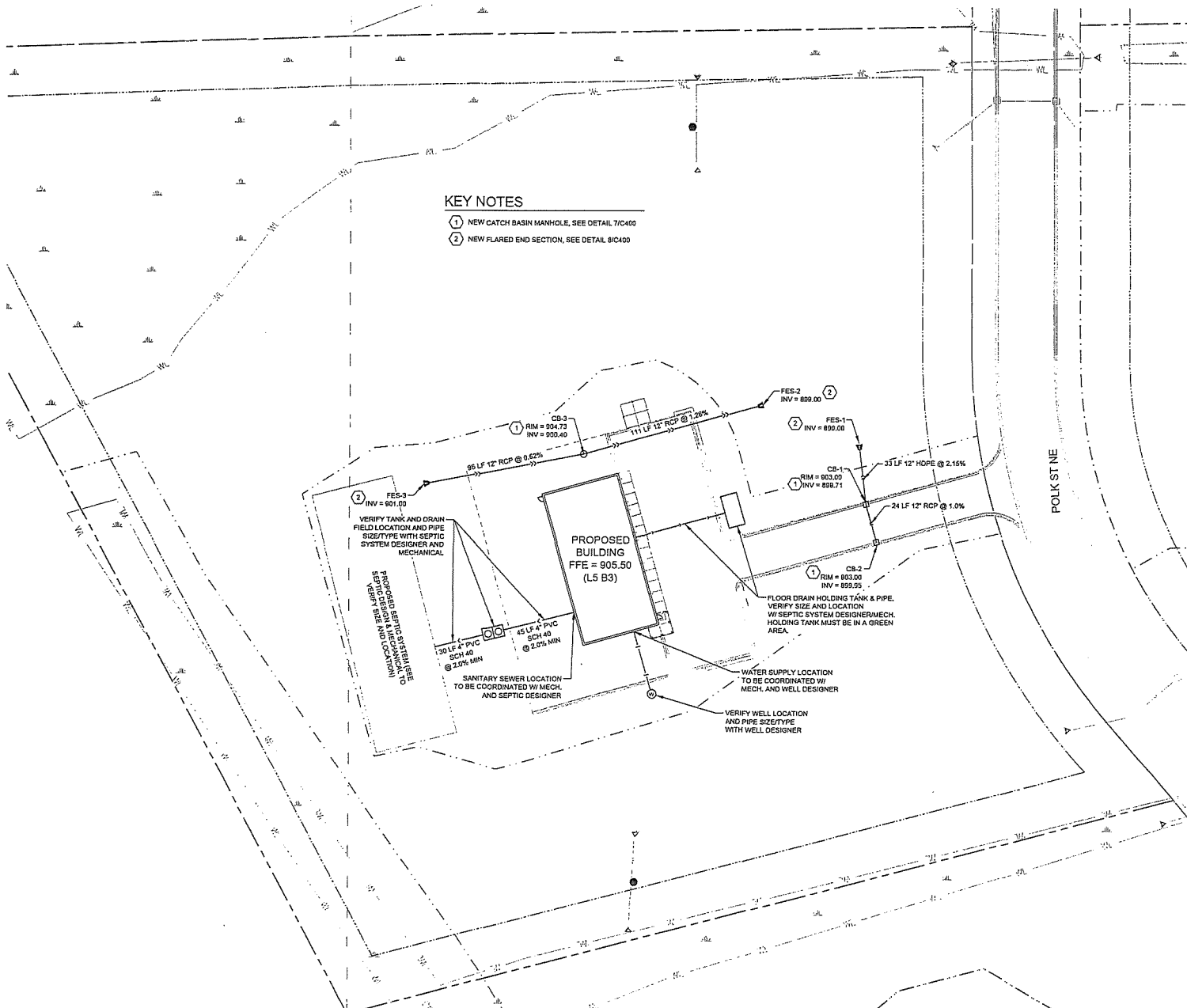
Rev.	Date	Description
11.29.23		CITY COMMENTS
11.29.23		CITY COMMENTS

Project #: 12230155  
 Drawn By: KBK  
 Checked By: TJH  
 Issue Date: 12.01.23  
 Sheet Title:

**GRADING & EROSION CONTROL PLAN**

Sheet:  
**C200**





**KEY NOTES**

1 NEW CATCH BASIN MANHOLE, SEE DETAIL 7/C400

2 NEW FLARED END SECTION, SEE DETAIL 8/C400

**SYMBOL LEGEND**

- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ▭ FLARED END
- SANITARY MANHOLE
- HYDRANT
- ⊥ GATE VALVE & BOX
- ⊥ WATER SHUTOFF
- ⊙ LIGHT POLE
- CTV
- OE
- UE
- FO
- GAS
- GAS
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAIN TILE PIPE
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAIN TILE PIPE

**GENERAL**

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- PROPOSED CATCH BASIN
- PROPOSED WELL
- PROPOSED SEPTIC TANK
- HOLDING TANK
- ▭ APRONS/FES

**UTILITY NOTES**

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standards specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer cover piping shall meet ASTM F2308 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
- All RCP pipe shown on the plans shall be MNDOT class 3.
- Maintain a minimum of 7' 30" of cover over all water lines and sanitary sewer lines. Where 7' 30" of cover is not provided, install 2" rigid polystyrene insulation (MNDOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
- Install water lines 12" above sewers. Where the sewer is less than 12" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
- All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
- See Project Specifications for bedding requirements.
- Pressure test and dewater all new watermains in accordance with state and local requirements.
- Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.
- A structure adjustment shall include removing and salvaging the existing casing assembly, removing existing concrete rings to the precast section. Install new rings and salvaged casing to proposed grade, clearing casing flange by mechanical means to insure a sound surface and install an external chimney seal from casing to precast section. Chimney seals shall be Int-Shield Uni-Bend or an approved equal.

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*Thomas J. Harwood, P.E.*  
 Date: 12.01.23 Lic. No.: 25520

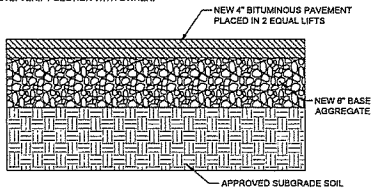
Rev	Date	Description
1	11.28.23	CITY COMMENTS
2	11.29.23	CITY COMMENTS

Project #: 12226155  
 Drawn By: KSK  
 Checked By: T.JH  
 Issue Date: 12.01.23  
 Sheet Title:

**UTILITY PLAN**

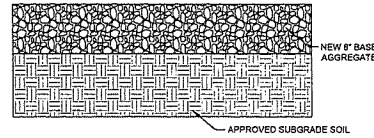
Sheet:  
**C300**

NOTE: VERIFY SECTION WITH OWNER.



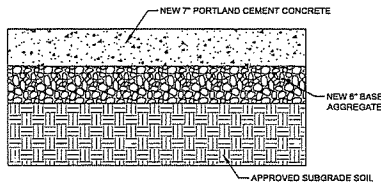
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NOTE: VERIFY SECTION WITH OWNER.

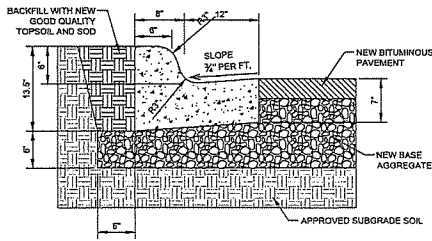


**GRAVEL SECTION**  
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NOTE: VERIFY SECTION WITH OWNER.

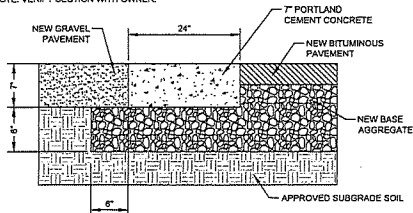


**CONCRETE CONSTRUCTION DETAIL**  
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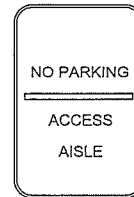
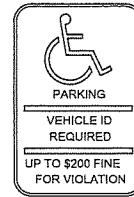


**B612 CONCRETE CURB & GUTTER DETAIL**  
NOT TO SCALE

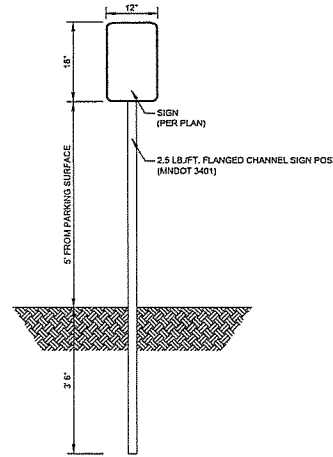
NOTE: VERIFY SECTION WITH OWNER.



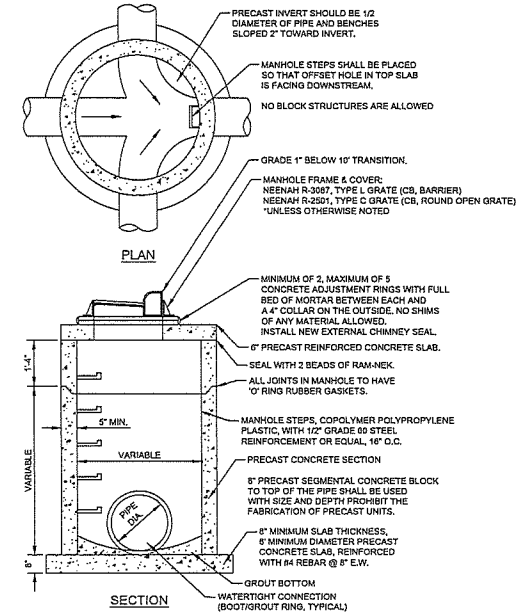
**FLUSH CURB DETAIL**  
NOT TO SCALE



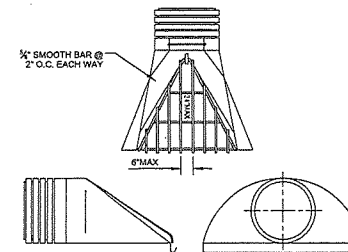
- NOTES:**
1. ALL SIGNS TO BE INSTALLED IN ACCORDANCE WITH MNUTCD AND MNDOT CURRENT STANDARD SIGNS MANUAL.
  2. ALL SIGNS SHALL BE REVIEWED AND APPROVED BY OWNER/ENGINEER PRIOR TO CONSTRUCTION.
  3. SIGN POSTS TO BE 8' BEHIND THE BACK OF CURB, UNLESS OTHERWISE DIRECTED.
  4. SHARE POST WHERE APPLICABLE.
  5. SIGNS WITHIN CONCRETE SIDEWALKS SHALL BE SURFACE MOUNTED WITH APPROVED BREAK-AWAY DEVICES.



**PARKING SIGN AND POST DETAIL**  
NOT TO SCALE



**CATCH BASIN MANHOLE DETAIL**  
NOT TO SCALE



PROVIDE 3 CLIPS TO FASTEN TRASH GUARD TO R.E.S.  
HOT DIP GALVANIZE AFTER FABRICATION.

**FLARED END SECTION DETAIL**  
NOT TO SCALE

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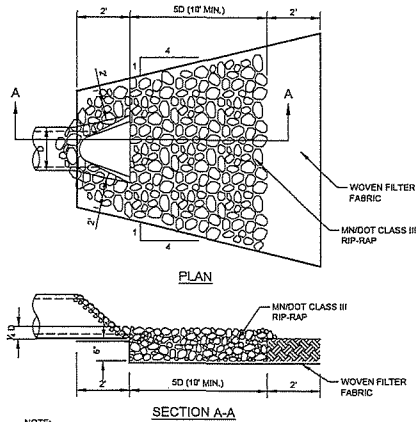
*Thomas J. Herkeshoff*  
Thomas J. Herkeshoff, P.E.  
Date: 12.01.23 Lic. No.: 25520

Rev.	Date	Description
11.29.23		CITY COMMENTS
11.29.23		CITY COMMENTS

Project #: 12238155  
Drawn By: KBK  
Checked By: TJH  
Issue Date: 12.01.23  
Sheet Title:

DETAILS

Sheet: **C400**

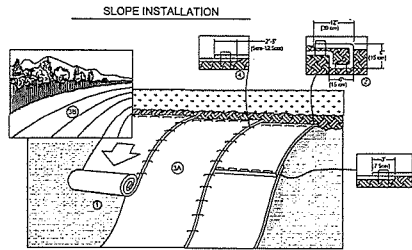


NOTE:  
FW300 MIRAFI FABRIC OR EQUAL

**RIP-RAP AT OUTLETS**

NOT TO SCALE

1  
C401



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP), INCLUDING ANY NECESSARY APPLICATION OF LIMEL, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-SEED DO NOT SEED PREPARED AREA. CELL-0 SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP IN A 6" (1.5 CM) DEEP X 8" (1.5 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH WITH STAPLES/STAKES UP TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP BACK OVER SEED AND COMPACTED SOIL. SECURE RECP OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP.
3. ROLL THE RECP (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE SOFT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP MUST BE STAPLED WITH APPROXIMATELY 2" - 3" (5 CM - 12 CM) OVERLAP DEPENDENT ON RECP TYPE.
5. CONSECUTIVE RECP SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP WIDTH.  
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP.



Category 4 Erosion Control Blanket:  
North American Green 3350 erosion control blanket or approved equal.

Top Net Polypropylene 1.5 lbs/1,000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. wt.	Bottom Net Polypropylene 1.5 lbs/1,000 ft <sup>2</sup> (0.73 kg/100 m <sup>2</sup> ) approx. wt.
Straw Fiber 0.50 LBS/100 (0.27 KG/M <sup>2</sup> )	Thread Photodegradable

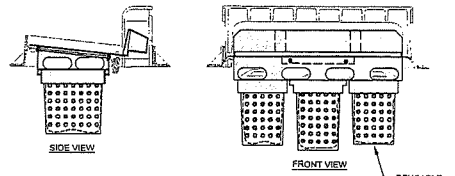
Staples/Anchors:  
The type of anchors used to secure the blanket to the ground shall be Steel wire #11 Gauge 1" wide x 8" long.

**EROSION CONTROL BLANKET**

NOT TO SCALE

2  
C401

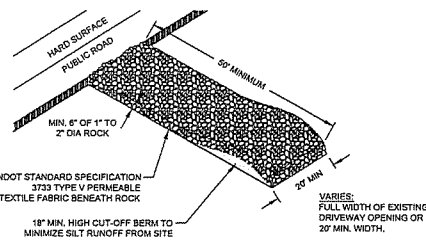
FILTER AREA	6.5 FT <sup>2</sup>
OVERFLOW AREA	0.6 FT <sup>2</sup>
MAXIMUM OVERFLOW RATE (6" 7" HEAD)	3.00 CFS
MAXIMUM OVERFLOW RATE (6" 13" HEAD)	4.00 CFS
BASKET WEIGHT (EMPTY)	11 LBS
BASKET WEIGHT (FULL APPROX.)	70 LBS



**INFRSAFE INLET PROTECTION DEVICE (OR EQ.)**

NOT TO SCALE

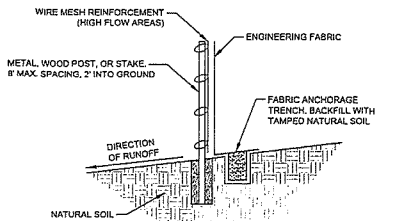
3  
C401



**ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE

4  
C401

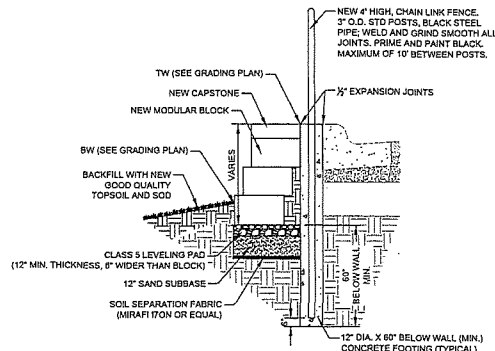


NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH WIRES, OR WOOD POSTS WITH STAPLES.

**SILTS FENCE INSTALLATION DETAIL**

NOT TO SCALE

5  
C401

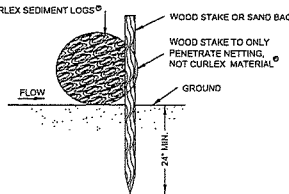


- NOTES:
1. WALL TO BE DESIGNED/INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  2. WALL TYPE, COLOR, TEXTURE TO BE SELECTED BY ARCHITECT.
  3. UNDER NEW FENCE, INSTALL 12" WIDE BY 8" THICK CONCRETE MAINTENANCE STRIP.

**RETAINING WALL AND FENCE DETAIL**

NOT TO SCALE

7  
C401

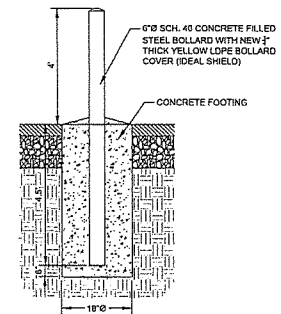


- NOTES:
1. STAKE OR SAND BAG SPACING SHALL BE 2 FEET O.C.

**SEDIMENT LOG DETAIL**

NOT TO SCALE

6  
C401



**BOLLARD DETAIL**

NOT TO SCALE

8  
C401

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*Thomas J. Harkness, P.E.*  
Thomas J. Harkness, P.E.  
Date: 12.01.23 Lic. No.: 25520

Rev.	Date	Description
1	11.28.23	CITY COMMENTS
2	11.29.23	CITY COMMENTS

Project #: 12236155  
Drawn By: KBK  
Checked By: TJH  
Issue Date: 12.01.23  
Sheet Title:

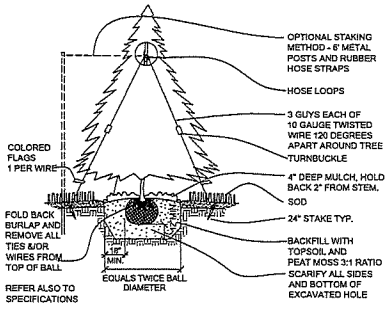
DETAILS

Sheet:  
**C401**



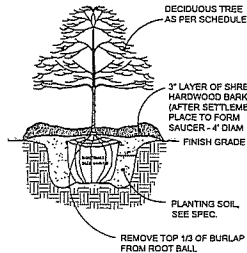






**CONIFEROUS TREE PLANTING DETAIL**

NOT TO SCALE



**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

**NOTES:**

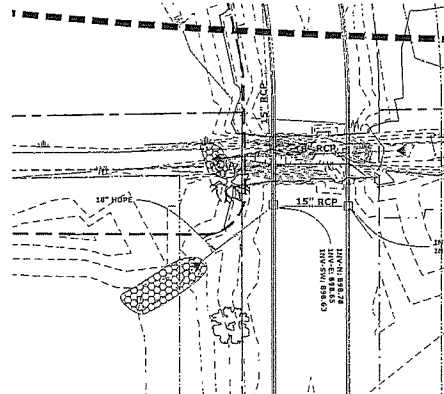
PROVIDE AND INSTALL PLANT MATERIALS THAT MEET SPECIFICATIONS AND ARE OF THE SIZE, TYPE, AND SPECIES GIVEN IN PLANT SCHEDULE.

REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE OR SHRUB.

DO NOT CUT THE LEADER.

PLACE WEED BARRIER. DIG PLANT HOLES 12\"/>

IN CASE OF ANY DISCREPANCIES BETWEEN THIS DETAIL, PLANS OF SPECIFICATIONS, THE SPECIFICATION SHALL GOVERN.



**SYMBOL LEGEND**

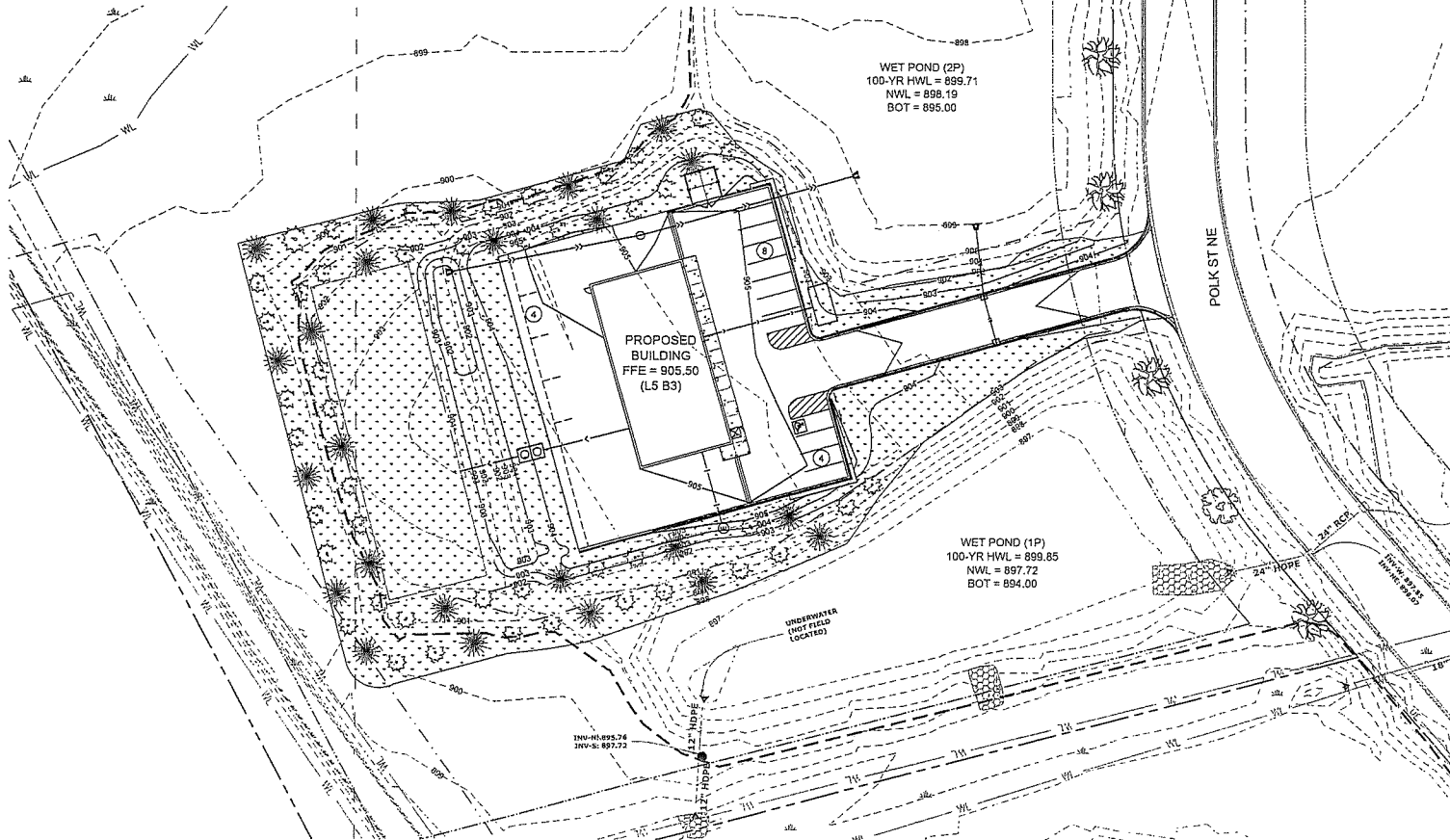
RESTORE ALL DISTURBED AREAS WITH 4\"/>

**PLANTING SCHEDULE**

QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER
5	Sionna Glen Maple	Acer X Freemantli 'Sionna'	2-1/2' Cal	B & B
2	Common Hackberry	Celtis Occidentalis	2-1/2' Cal	B & B
28	Black Hills Spruce	Picea Glauca 'Densa'	6'	B & B
15	Norway Spruce	Picea Abies	6'	B & B

**NOTES**

- UNLESS OTHERWISE NOTED, ALL AREAS SHALL BE RESTORED WITH 4\"/>
- ALL SLOPES THAT ARE IN EXCESS OF 3:1 (BY) SHALL BE SECURED WITH NORTH AMERICAN GREEN DS150 FOR SHORT TERM EROSION CONTROL (CATEGORY 3).
- ACTUAL TREE SIZE MAY BE SMALLER THAN THAT SHOWN BUT SHALL BE IN ACCORDANCE WITH CITY OF HAM LAKE LANDSCAPE REQUIREMENTS AND TIMELINES.



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*Thomas J. Harkenhoff*  
 Thomas J. Harkenhoff, P.E.  
 Date: 12.01.23 Lic. No.: 25529

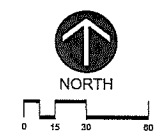
Rev.	Date	Description
11.28.23		CITY COMMENTS
11.29.23		CITY COMMENTS

Project #: 12238155  
 Drawn By: KSK  
 Checked By: TJH  
 Issue Date: 12.01.23  
 Sheet Title:

**LANDSCAPING PLAN**

Sheet:

**C600**



## Excerpt from Article 9 of the Ham Lake City Code

...

**9-220 Mercantile Districts** The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

### **9-220.1 Standards Common to All Mercantile Districts**

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or

combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

- h) Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.
- i) Signage** All signage shall conform to the provisions of Article 11-300.
- j) Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

  - i)** The departure is not being requested for purely economic reasons;
  - ii)** The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;
  - iii)** The business is a permitted or conditional use in the zoning district;
  - iv)** The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;
  - v)** The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;
  - vi)** The property contains unusual accessibility problems to or from adjacent roadways;
  - vii)** The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

- k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) **Definitions**

- aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.
- bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.
- cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

- dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.
- ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours.”
- ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.
- gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.
- hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.
- ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).
- jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

## 2) Permitted Outside Storage

- aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.
- bb) **Aesthetically Screened Outside Storage** is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.
- cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.
- dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.
- ee) No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.
- ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:
  - 1) Pool water must be maintained in a sanitary condition;
  - 2) Below ground pools must be surrounded by code-compliant fencing;
  - 3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
  - 4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;

- 5) Reasonable screening from outside view shall be installed;
- 6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;
- 7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
- 8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;

**gg) Screened Outside Storage** is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:

- 1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
- 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

**hh) Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

- 3) **Office/Warehouses** Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity, or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the Office/Warehouse is to

be constructed contains restrictions on building materials or design, those restrictions must be followed. No outside storage unless permitted by Conditional Use Permit, Temporary Conditional Use Permit, or by the given zoning district in which the Office/Warehouse is constructed.

### **9-220.2 Commercial Development I (CD-1)**

The CD-1 zone is intended to apply to certain commercial uses on lands abutting the city's only major thoroughfare, Trunk Highway 65. In that these lands have high visibility to the traveling public, it is considered important to the preservation of land values in general, as well as important to the continuing ability of the city to generate the establishment of quality commercial development and the concomitant tax and employment base, that structures in the CD-1 zones observe specific construction and aesthetic standards, which are listed below. No usage shall be permitted in the CD-1 zone which does not observe the standards found in Article 9-220.2 (a) below.

...

### **9-220.3 Commercial Development II (CD-2)**

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

#### **a) Standards for Site and Building Construction**

- i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.
- ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.



**b) Permitted Uses (Including uses that are ancillary to the main use)**

- All Permitted Uses in the CD-1 District
- Broadcasting Studios
- Building Supply Yards/Lumber Yards
- Enclosed Storage and Office/Warehousing
- Landscaping Businesses
- Manufacturing involving no non-enclosed storage
- Public Utilities (metal or pole type construction allowed)
- Research laboratories
- Used Vehicle Sales - limited to the following:
  - ATV's (all-terrain vehicles)
  - Automobiles
  - Boats
  - Campers
  - Golf Carts
  - Motorcycles, Motorbikes and Scooters
  - Recreational Vehicles
  - Snowmobiles
  - Commercial Trucks
  - Pickup Trucks
  - Trailers less than 30 feet in length
- Utility Companies

**c) Conditional Uses**

- All conditional uses or temporary conditional uses in the CD-1 District
- Construction Service Contractors such as Concrete Masonry, Roofing, Siding, and Landscaping Contractors
- Flea Markets under Article 11-1500
- Kennels
- Pawn Shops under Article 11-1300
- Truck Terminals – as defined as a location where commercial trucks load and unload cargo on a regular basis with Large Truck and Equipment Repair (Body and Driveline Repair) as a secondary use
- Self-storage facilities, but not including the limitations and conditions imposed for such facilities as found in Article 9-220.2 (c).

## Excerpt from Article 11 of the Ham Lake City Code

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### **11-1800 LANDSCAPING IN COMMERCIAL ZONED AREAS**

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

**11-1810 Landscape Plan Required** No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

**11-1820 Installation Required** No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

**11-1830 Time for Submission** The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

### **11-1840 Contents and Specifications**

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

### **11-1850 MINIMUM LANDSCAPING REQUIREMENTS**

**11-1851 Paved Surfaces** All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

**11-1852 Ground Cover** On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

**11-1853 Tree Plantings** Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- B. The use of conifers shall be encouraged and preferred.
- C. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

**11-1860 Case by Case Evaluation**

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

## NOTICE OF PERMIT APPLICATION STATUS

**Project:** Twin Town Demolition

**Date:** December 1, 2023

**Applicant:** Twin Town Demolition  
Attn: Nick Holm  
13385 207th Ave NW  
Elk River, MN 55330

**Permit Application#:** P-23-071

**Purpose:** construction of a new commercial building and parking lot

**Location:** NW of the intersection of Buchanan St NE and 166th Ave NE, 16648 Polk St NE  
, Ham Lake

At their meeting on 11/13/2023 the Board of Managers of the Coon Creek Watershed District **Approved with Conditions** the above referenced project with 3 conditions and 0 stipulations. **This is NOT a permit.**

Since the last submittal on 11/29/2023, the following conditions remain which must be addressed before permit issuance.

1. Update the erosion and sediment control plan to include a note to stabilize soils and soil stockpiles within 24 hours of inactivity.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Edison  
Watershed Development Coordinator

cc: File P-23-071  
Eileen Weigel, Stantec  
Danielle Tourtillott, Stantec  
Tom Collins, Ham Lake